



Enterprise Town Advisory Board

Windmill Library
7060 W. Windmill Lane
Las Vegas, NV 89113

February 26, 2020
6:00 p.m. |

AGENDA

NOTE:

- Items on the agenda may be taken out of order.
- The Board/Council may combine two or more agenda items for consideration.
- The Board/Council may remove an item from the agenda or delay discussion relating to an item at any time.
- No action may be taken on any matter not listed on the posted agenda.
- All planning and zoning matters heard at this meeting are forwarded to Board of County Commissioners Zoning Commission (BCC) or Clark County Planning Commission (PC) for final action.
- Please turn off or mute all cell phones and other electronic devices.
- Please take all private conversations outside the room.
- With forty-eight (48) hour advance request, a sign language interpreter, or other reasonable efforts to assist and accommodate persons with physical disabilities, may be made available by calling 702-455-3530 or TDD 702-385-7486 or Relay Nevada toll free 800-326-6868, TD/TDD.
- Supporting material provided to Board/Council members for this meeting may be requested from Carmen Hayes at 702-371-7991 and is/will be available at the County's website at www.clarkcountynv.gov.

Board Members: Jenna Waltho – Chair
Rachel Pinkston
Kendal Weisenmiller |

Barris Kaiser – Vice Chair
David Chestnut

Secretary: Carmen Hayes 702-371-7991 chayes70@yahoo.com

County Liaison: Tiffany Hesser 702-455-7388 tlh@clarkcountynv.gov |

- I. Call to Order, Pledge of Allegiance, Roll Call, County Staff Introductions |
- II. Public Comment - This is a period devoted to comments by the general public about items on this agenda. No discussion, action, or vote may be taken on this agenda item. You will be afforded the opportunity to speak on individual Public Hearing Items at the time they are presented. If you wish to speak to the Board/Council about items within its jurisdiction but not appearing on this agenda, you must wait until the "Comments by the General Public" period listed at the end of this agenda. Comments will be limited to three minutes. Please step up to the speaker's podium, if applicable, clearly state your name and address and please **spell** your last name for the record. If any member of the Board/Council wishes to extend the length of a presentation, this will be done by the Chair or the Board/Council by majority vote.
- III. Approval of Minutes February 12, 2020 (For possible action) |

BOARD OF COUNTY COMMISSIONERS
MARILYN KIRKPATRICK, CHAIR - LAWRENCE WEEKLY, Vice-Chair
LARRY BROWN - JAMES GIBSON - JUSTIN JONES - MICHAEL NAFT - TICK SEGERBLOM
YOLANDA KING, County Manager

IV. Approval of Agenda for February 26, 2020 and Hold, Combine or Delete Any Items (For possible action)

V. Informational Items

1. Announcements of upcoming neighborhood meetings and County or community meetings and events. (for discussion)

VI. Planning & Zoning

1. **NZC-20-0030-TESORI, LLC:**
ZONE CHANGE to reclassify 3.2 acres from R-E (Rural Estates Residential) Zone and R-2 (Medium Density Residential) Zone to C-2 (General Commercial) Zone.
USE PERMIT to reduce the separation from an on-premises consumption of alcohol establishment (tavern) to a residential use.
WAIVER OF DEVELOPMENT STANDARDS for reduced driveway separation.
DESIGN REVIEWS for the following: 1) 2 commercial centers; and 2) alternative landscaping. Generally located on the south side of Silverado Ranch Boulevard and the east and west sides of Schuster Street within Enterprise (description on file). JJ/pb/jd (For possible action) **03/03/20 PC**
2. **SC-20-0097-MAJESTIC NV PPTY HOLDINGS, LLC:**
STREET NAME CHANGE to name a private drive aisle Silverton Village Drive. Generally located on the south side of Blue Diamond Road, east of Dean Martin Drive within Enterprise. JJ/dm/ja (For possible action) **03/17/20 PC**
3. **VS-20-0081-KULAR, GULZAR SINGH:**
VACATE AND ABANDON an easement of interest to Clark County located between Blue Diamond Road and Agate Avenue (alignment) and between Rainbow Boulevard and Inspiration Drive (alignment) and a portion of right-of-way being Rainbow Boulevard located between Blue Diamond Road and Agate Avenue (alignment) and Agate Avenue (alignment) between Rainbow Boulevard and Inspiration Drive (alignment) within Enterprise (description on file). JJ/jor/ja (For possible action) **03/17/20 PC**
4. **WS-20-0064-HERITAGE 2, INC.:**
WAIVER OF DEVELOPMENT STANDARDS to increase the building height of a single family residence.
DESIGN REVIEW for a single family residential development on 19.6 acres in an R-2 (Medium Density Residential) Zone. Generally located on the south side of Robindale Road and the east side of Duneville Street within Enterprise. MN/jor/ja (For possible action) **03/17/20 PC**
5. **WS-20-0080-KULAR GULZAR SINGH:**
WAIVER OF DEVELOPMENT STANDARDS for alternative driveway geometrics.
DESIGN REVIEW for a convenience store with gasoline pumps, vehicle wash, smog check kiosk, and a restaurant with a drive-thru on 2.2 acres in a C-2 (General Commercial) Zone. Generally located on the north side of Blue Diamond Road and the east side of Rainbow Boulevard within Enterprise. JJ/jor/ja (For possible action) **03/17/20 PC**

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YOLANDA KING, County Manager

6. **TM-20-500025-L H VENTURES, LLC:**
TENTATIVE MAP consisting of 33 lots on 5.0 acres in an R-2 (Medium Density Residential) Zone. Generally located on the west side of Jones Boulevard and the north side of Robindale Road within Enterprise (description on file). MN/lm/jd (For possible action) **03/18/20 BCC**
7. **VS-20-0069-SUNSET VIEW, LLC:**
VACATE AND ABANDON easements of interest to Clark County located between Sunset Road and Rafael Rivera Way, and between Lindell Road and Westwind Road within Enterprise (description on file). MN/lm/ja (For possible action) **03/18/20 BCC**
8. **VS-20-0086-L H VENTURES, LLC:**
VACATE AND ABANDON easements of interest to Clark County located between Jones Boulevard and Rustic Galleon Street, and between Robindale Road and Walker Valley Court (alignment) within Enterprise (description on file). MN/lm/jd (For possible action) **03/18/20 BCC**
9. **WC-20-400014 (ZC-0606-01) -JONES 215, LLC:**
WAIVER OF CONDITIONS of a zone change requiring recording a reciprocal, perpetual cross access, ingress/egress, and parking agreements if dealerships are individually owned and operated in conjunction with a previously approved zone change to reclassify 24.7 acres from R-E (Rural Estates Residential) (AE-65) Zone to C-2 (General Commercial) (AE-65) Zone for 2 automobile dealerships, future, and associated accessory service uses, and a use permit for automobile paint and body shops in the CMA Design Overlay District. Generally located between Maule Avenue and CC 215, the east and west sides of Torrey Pines Drive and approximately 350 feet west of El Camino Road within Enterprise. MN/md/ja (For possible action) **03/18/20 BCC**
10. **WS-20-0059-DECATUR COMMONS, LLC:**
WAIVERS OF DEVELOPMENT STANDARDS for the following: **1)** allow encroachment into airspace; **2)** increase sign height; **3)** increase animated (electronic message unit) sign area; **4)** allow a freestanding sign along a freeway; and **5)** increase the maximum sign area.
DESIGN REVIEWS for the following: **1)** lighting; and **2)** signage in conjunction with a commercial center on 5.6 acres in an M-D (Design Manufacturing) (AE-60) Zone. Generally located on the east side of Decatur Boulevard and the north side of CC 215 within Enterprise. MN/jor/jd (For possible action) **03/18/20 BCC**
11. **WS-20-0079-JONES 215, LLC:**
WAIVERS OF DEVELOPMENT STANDARDS for the following: **1)** reduce parking lot landscaping; **2)** eliminate cross access; **3)** waive applicable design standards per Table 30.56-2; **4)** modified CMA Design Overlay District standards; **5)** allow modified driveway design standards.
DESIGN REVIEW for a vehicle sales (automobile) showroom facility with outside display areas and ancillary uses on a 4.0 acre portion of a 14.1 acre site in a C-2 (General Commercial) Zone and a C-2 (General Commercial) (AE-60) Zone in the CMA Design Overlay District. Generally located on the south side of Roy Horn Way, 650 feet east of Torrey Pines Drive within Enterprise. MN/md/jd (For possible action) **03/18/20 BCC**

12. **WS-20-0096-COUNTY OF CLARK (AVIATION) & NEVADA POWER COMPANY LEASE:**
WAIVERS OF DEVELOPMENT STANDARDS for the following: **1)** street landscaping; and **2)** reduce parking lot landscaping.
DESIGN REVIEWS for the following: **1)** alternative parking lot landscaping; and **2)** expansion of parking lot including solar PV shade covers for a public utility distribution warehouse facility on 37.0 acres in an M-D (Designed Manufacturing) Zone in the CMA Design Overlay District. Generally located on the north side of Warm Springs Road and the west side of Lindell Road within Enterprise. MN/lm/jd (For possible action) **03/18/20 BCC**
13. **ZC-20-0068-SUNSET VIEW, LLC:**
ZONE CHANGE to reclassify 12.0 acres of a 14.3 acre site from R-E (Rural Estates Residential) (AE-60) Zone to M-D (Designed Manufacturing) (AE-60) Zone.
WAIVER OF DEVELOPMENT STANDARDS to allow modified driveway design standards.
DESIGN REVIEWS for the following: **1)** increased finish grade; and **2)** distribution center on 14.3 acres in the CMA Design Overlay District. Generally located on the south side of Sunset Road and the west side of Lindell Road within Enterprise (description on file). MN/lm/ja (For possible action) **03/18/20 BCC**
14. **ZC-20-0085-L H VENTURES, LLC:**
ZONE CHANGE to reclassify 5.0 acres from R-E (Rural Estates Residential) Zone to R-2 (Medium Density Residential) Zone.
WAIVERS OF DEVELOPMENT STANDARDS for the following: **1)** increase wall height; **2)** increase building height; **3)** allow alternative street landscaping; and **4)** reduce street intersection off-set.
DESIGN REVIEW for a single family residential development. Generally located on the west side of Jones Boulevard and the north side of Robindale Road within Enterprise (description on file). MN/lm/jd (For possible action) **03/18/20 BCC**
15. **ZC-20-0101-LA BREA EQUITY VENTURE, LLC:**
ZONE CHANGE to reclassify 13.1 acres from R-E (Rural Estates Residential) Zone and H-2 (General Highway Frontage) Zone to H-1 (Limited Resort and Apartment) Zone.
USE PERMIT for multiple family residential development.
WAIVER OF DEVELOPMENT STANDARDS reduce throat depth for visitor call box.
DESIGN REVIEW for a multiple family residential development. Generally located on the west side of Las Vegas Boulevard South, 470 feet south of Neal Avenue within Enterprise (description on file). MN/jt/jd (For possible action) **03/18/20 BCC**

VII. General Business

1. Appoint one member as the Enterprise Town Advisory Board representative to be involved in the update of the county's Comprehensive Master Plan and Title 30 development code (For possible action)

VIII. Comments by the General Public - A period devoted to comments by the general public about matters relevant to the Board's/Council's jurisdiction will be held. No vote may be taken on a matter not listed on the posted agenda. Comments will be limited to three minutes. Please step up to the speaker's podium, if applicable, clearly state your name and address and please spell your last name for the record. If any member of the Board/Council wishes to extend the length of a presentation, this will be done by the Chair or the Board/Council by majority vote.

IX. Next Meeting Dates: March 4, 2020 at 6:00 p.m. - Enterprise Land Use Plan Update Requests West of Decatur
March 5, 2020 at 6:00 p.m. - Enterprise Land Use Plan Update Requests East of Decatur
March 11, 2020 at 6:00 p.m. - Regularly Scheduled Enterprise Town Advisory Board Meeting

X. Adjournment

POSTING LOCATIONS: [This meeting was legally noticed and posted at the following locations:

Windmill Library -7060 W. Windmill Lane

Einstein Bros Bagels- 3837 Blue Diamond Rd.

Enterprise Library- 25 E. Shelbourne Ave.

Whole Foods Market- 6689 Las Vegas Blvd

<https://notice.nv.gov/>

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LARRY BROWN - JAMES GIBSON - JUSTIN JONES - MICHAEL NAFT - TICK SEGERBLOM
YOLANDA KING, County Manager



Enterprise Town Advisory Board

February 12, 2020

MINUTES

Board Members: Jenna Waltho, Chair - **PRESENT** Barris Kaiser, Vice Chair **PRESENT**
Rachel Pinkston **EXCUSED** David Chestnut **PRESENT**
Kendal Weisenmiller **PRESENT**

Secretary: Carmen Hayes 702-371-7991 chayes70@yahoo.com **PRESENT**

County Liaison: Tiffany Hesser 702-455-7388 tlh@clarkcountynv.gov **PRESENT**

I. Call to Order, Pledge of Allegiance, Roll Call, County Staff Introductions (see above)

The meeting was called to order at 6:00 p.m.

Brady Bernhart, Current Planning

II. Public Comment

This is a period devoted to comments by the general public about items on this agenda. No discussion, action, or vote may be taken on this agenda item. You will be afforded the opportunity to speak on individual Public Hearing Items at the time they are presented. If you wish to speak to the Board/Council about items within its jurisdiction but not appearing on this agenda, you must wait until the "Comments by the General Public" period listed at the end of this agenda. Comments will be limited to three minutes. Please step up to the speaker's podium, if applicable, clearly state your name and address and please spell your last name for the record. If any member of the Board/Council wishes to extend the length of a presentation, this will be done by the Chair or the Board/Council by majority vote.

None.

III. Approval of January 29, 2020 Minutes (For possible action)

Motion by Jenna Waltho

Action: **APPROVE**

Motion **PASSED** (4-0) / Unanimous

IV. Approval of Agenda for February 12, 2020 and Hold, Combine or Delete Any Items (For possible action)

Motion by Jenna Waltho

Action: **APPROVE** as amended.

Motion **PASSED** (4-0) / Unanimous

Applicant requested Hold:

5. NZC-20-0030-TESORI, LLC: Applicant requested **HOLD** to February 26, 2020 Enterprise Town Board meeting.
6. UC-20-0022-FORD PARTNERSHIP, LLC: Applicant requested **HOLD** to March 11, 2020 Enterprise Town Board meeting.
10. VS-20-0023-FORD PARTNERSHIP, LLC: Applicant requested **HOLD** to March 11, 2020 Enterprise Town Board meeting.

Related applications:

2. TM-20-500002-CFT LANDS, LLC:
4. WS-20-0012-CFT LANDS, LLC:
13. UC-20-0047-MOTOR HOLDINGS, LLC:
14. UC-20-0048-MOTOR HOLDINGS, LLC:

The chair will hear item # 11 after item # 1.

V. Informational Items

1. Receive a report from Clark County Community Planning on the Enterprise Land Use Plan Update, and to deliver backup material (change list and maps) to the TAB members for the upcoming March 4, 2020, and March 5, 2020 special meetings. (For possible action).

Planners presented TAB members maps and materials so they can begin to review the upcoming change requests. The public can find this information at <http://www.clarkcountynv.gov/comprehensive-planning/land-use/Pages/EnterpriseLandUsePlan.aspx>

2. Announcements of upcoming neighborhood meetings and County or community meetings and events. (for discussion)
 - None.

VI. Planning & Zoning

1. **UC-19-0926-P8 W S TUSCAN HIGHLANDS, LLC:**
HOLDOVER USE PERMITS for the following: **1)** expand a previously approved area for outside dining and drinking; and **2)** allow live entertainment in conjunction with a multi-family complex on 15.2 acres in an H-1 (Limited Resort and Apartment) P-C (Planned Community Overlay District) Zone. Generally located on the east side of Southern Highlands Parkway and the south side of St. Rose Parkway within Enterprise. JJ/rk/jd (For possible action) **02/18/20 PC**

Motion by David Chestnut

Action: **DENY**

Motion **PASSED** (3-1) / Weisenmiller-nay

2. **TM-20-500002-CFT LANDS, LLC:**
TENTATIVE MAP consisting of 61 residential lots on a 15.0 acre site in an R-1 (Single Family Residential) Zone and R-D (Suburban Estates Residential) Zone. Generally located on the north side of Starr Avenue, 300 feet east of La Cienega Street within Enterprise. MN/lm/jd (For possible action) **02/19/20 BCC**

Motion by David Chestnut
Action: **APPROVE**
Per staff conditions.
Motion **PASSED** (4-0) /Unanimous

3. **WS-20-0009-LVB MOBERLY, LLC:**
WAIVERS OF DEVELOPMENT STANDARDS for the following: **1)** reduce parking lot landscaping; and **2)** reduce throat depth.
DESIGN REVIEW for restaurants with drive-thru on 3.2 acres in an H-1 (Limited Resort and Apartment) Zone. Generally located on the north side of Moberly Avenue and the west side of Giles Street within Enterprise. MN/lm/jd (For possible action) **02/19/20 BCC**

Motion by Jenna Waltho
Action: **APPROVE**
ADD Current Planning condition:

- Design Review as a public hearing for significant changes to plans;
- Design Review as a public hearing for lighting and signage.

Per staff conditions.
Motion **PASSED** (4-0) /Unanimous

4. **WS-20-0012-CFT LANDS, LLC:**
WAIVER OF DEVELOPMENT STANDARDS allow an increase to street length.
DESIGN REVIEW for a proposed single family residential development on a 15.0 acre site in an R-1 (Single Family Residential) Zone and R-D (Suburban Estates Residential) Zone. Generally located on the north side of Starr Avenue, 300 feet east of La Cienega Street within Enterprise. MN/lm/jd (For possible action) **02/19/20 BCC**

Motion by David Chestnut
Action: **APPROVE**
ADD Current Planning condition:

- Design Review as a public hearing for significant changes to plans;
- No 3-story homes adjacent to RNP-1 property;
- Add single-story model or models to the design;
- Single-story homes adjacent to established single story homes.

Per staff conditions.
Motion **PASSED** (4-0) /Unanimous

5. **NZC-20-0030-TESORI, LLC:**
ZONE CHANGE to reclassify 3.2 acres from R-E (Rural Estates Residential) Zone and R-2 (Medium Density Residential) Zone to C-2 (General Commercial) Zone.
USE PERMIT to reduce the separation from an on-premises consumption of alcohol establishment (tavern) to a residential use.
WAIVER OF DEVELOPMENT STANDARDS for reduced driveway separation.
DESIGN REVIEWS for the following: 1) 2 commercial centers; and 2) alternative landscaping. Generally located on the south side of Silverado Ranch Boulevard and the east and west sides of Schuster Street within Enterprise (description on file). JJ/pb/jd (For possible action) **03/03/20 PC**

Applicant requested **HOLD** to February 26, 2020 Enterprise Town Board meeting.

6. **UC-20-0022-FORD PARTNERSHIP, LLC:**
USE PERMIT to allow a multiple family residential development.
WAIVERS OF DEVELOPMENT STANDARDS for the following: 1) increase the allowed building height; 2) reduce setbacks; 3) eliminate landscaping adjacent to a freeway; 4) driveway geo-metrics; and 5) non-standard improvements (landscaping in right-of-way).
DESIGN REVIEW for a proposed multiple family residential development on 4.0 acres in an H-1 (Limited Resort and Apartment) Zone. Generally located on the north side of Ford Avenue and east and west sides of Ensworth Street within Enterprise. MN/sd/jd (For possible action) **03/03/20 PC**

Applicant requested **HOLD** to March 11, 2020 Enterprise Town Board meeting.

7. **UC-20-0027-YARD BROCK:**
USE PERMITS for the following: 1) increase the area of a proposed accessory structure (detached garage); and 2) increase the size of all accessory structures with a proposed single family residence on 1.2 acres in an R-E (Rural Estates Residential) (RNP-1) (AE-60) Zone. Generally located on the north side of Cougar Avenue, approximately 300 feet east of Procyon Street within Enterprise. JJ/sd/jd (For possible action) **03/03/20 PC**

Motion by Jenna Waltho
Action: **APPROVE**
Per staff conditions:
Motion **PASSED** (4-0)/Unanimous

8. **UC-20-0031-1263 SILVERADO, LLC:**
USE PERMIT for a hookah lounge within an existing shopping center (Silverado Ranch Place) on a portion of 3.1 acres in a C-2 (General Commercial) Zone. Generally located on the east side of Maryland Parkway, South of Silverado Ranch Boulevard within Enterprise. MN/nr/jd (For possible action) **03/03/20 PC**

Motion by Kendal Weisenmiller
Action: **APPROVE**
Per staff conditions:
Motion **PASSED** (4-0)/Unanimous

9. **VS-20-0014-TOPETE FAMILY TRUST & TOPETE RAMON & LETICIA TRS:**

VACATE AND ABANDON easements of interest to Clark County located between Shelbourne Avenue and Camero Avenue, and between Placid Street and Fairfield Avenue within Enterprise (description on file). MN/tk/jd (For possible action) **03/03/20 PC**

Motion by Jenna Waltho
Action: **APPROVE**
Per staff conditions.
Motion **PASSED** (4-0) /Unanimous

10. **VS-20-0023-FORD PARTNERSHIP, LLC:**
VACATE AND ABANDON easements of interest to Clark County located between Parvin Street and I-15 and between Ford Avenue and Wigwam Avenue within Enterprise (description on file). MN/sd/jd (For possible action) **03/03/20 PC**

Applicant requested **HOLD** to March 11, 2020 Enterprise Town Board meeting.

11. **WS-20-0021-P8 W S TUSCAN HIGHLANDS, LLC:**
WAIVER OF DEVELOPMENT STANDARDS to increase the number of freestanding signs. **DESIGN REVIEW** for a freestanding sign in conjunction with a multi-family complex on 15.2 acres in an H-1 (Limited Resort and Apartment) P-C (Planned Community Overlay District) Zone in the Southern Highlands Master Planned Community. Generally located on the east side of Southern Highlands Parkway and the south side of St. Rose Parkway within Enterprise. JJ/rk/jd (For possible action) **03/03/20 PC**

Motion by David Chestnut
Action: **DENY**
Motion **PASSED** (4-0) /Unanimous

12. **ET-20-400005 (Nzc-0530-15)-AMH NV3 DEVELOPMENT, LLC:**
ZONE CHANGE SECOND EXTENSION OF TIME to reclassify 5.0 acres from C-1 (Local Business) Zone to R-3 (Multi-Family Residential) Zone. Generally located on the north side of Cactus Avenue, 1,270 feet west of Maryland Parkway within Enterprise (description on file). MN/al/jd (For possible action) **03/04/20 BCC**

Motion by Jenna Waltho
Action: **APPROVE**
Per staff conditions.
Motion **PASSED** (3-0) /Unanimous (Weisenmiller not present for vote)

13. **UC-20-0047-MOTOR HOLDINGS, LLC:**
USE PERMIT for a proposed marijuana establishment (dispensary) in conjunction with an approved office/warehouse building on a 1.0 acre portion of a 2.1 acre parcel in an M-D (Designed Manufacturing) (AE-65) Zone. Generally located on the north side of Warm Springs Road, 145 feet west of Windy Street within Enterprise. MN/pb/jd (For possible action) **03/04/20 BCC**

Motion by Barris Kaiser
Action: **DENY**
Motion **PASSED** (4-0) /Unanimous

14. **UC-20-0048-MOTOR HOLDINGS, LLC:**
USE PERMIT for a proposed marijuana establishment (retail marijuana store) in conjunction with an approved office/warehouse building on a 1.0 acre portion of a 2.1 acre parcel in an M-D (Designed Manufacturing) (AE-65) Zone. Generally located on the north side of Warm Springs Road, 145 feet west of Windy Street within Enterprise. MN/pb/jd (For possible action) **03/04/20 BCC**

Motion by Barris Kaiser
Action: **DENY**
Motion **PASSED** (4-0) /Unanimous

15. **UC-20-0049-LSREF EXHIBITION INVEST, LLC:**
USE PERMITS for the following: **1)** a passenger terminal (train station); **2)** retail sales; **3)** restaurants; and **4)** outside dining and drinking.
WAIVERS OF DEVELOPMENT STANDARDS for the following: **1)** elimination of freeway buffer; and **2)** encroachment into airspace.
DESIGN REVIEWS for the following: **1)** passenger terminal (train station) and parking garage; and **2)** alternative landscaping in conjunction with a passenger terminal and parking garage on 110.7 acres in an H-1 (Limited Resort and Apartments) (AE-60 & AE-65) Zone. Generally located on the west side of Las Vegas Boulevard South and the north side of Blue Diamond Road within Enterprise. MN/nr/ja (For possible action) **03/04/20 BCC**

Motion by Kendal Weisenmiller
Action:
APPROVE: Use Permits.
DENY: Waiver of Development Standards #1
APPROVE: Waiver of Development Standards #2.
APPROVE: Design Reviews
ADD Current Planning conditions:
• Design Review as a public hearing for lighting and signage.
Per staff conditions.
Motion **PASSED** (4-0) /Unanimous

16. **WS-20-0042-COUNTY OF CLARK (AVIATION):**
WAIVERS OF DEVELOPMENT STANDARDS for the following: **1)** eliminate freeway buffer; **2)** allow attached sidewalk; **3)** increased wall height; **4)** alternative driveway geometrics; and **5)** encroachment into airspace.
DESIGN REVIEWS for the following: **1)** increased finished grade; and **2)** a distribution center on 19 acres in an M-1 (Light Manufacturing) Zone. Generally located on the east side of Decatur Boulevard and the south side of the CC 215 within Enterprise. MN/nr/jd (For possible action) **03/04/20 BCC**

Motion by David Chestnut

Action: **APPROVE**:

ADD Current Planning conditions:

- Design Review as a public hearing for lighting and signage;
- Retaining and wall over 9 ft to be terraced and landscaped;
- Use wrought iron fencing on top of eastern retaining wall;
- Add additional fenestration to the east side of building # 11.

Per staff if approved conditions.

Motion **PASSED** (4-0) /Unanimous

VII. General Business:

1. None

VIII. Public Comment:

A period devoted to comments by the general public about matters relevant to the Board's/Council's jurisdiction will be held. No vote may be taken on a matter not listed on the posted agenda. Comments will be limited to three minutes. Please step up to the speaker's podium, if applicable, clearly state your name and address and please spell your last name for the record. If any member of the Board/Council wishes to extend the length of a presentation, this will be done by the Chair or the Board/Council by majority vote.

- None

IX. Next Meeting Date

The next regular meeting will be February 26, 2020 at 6:00 p.m.

X. Adjournment:

Motion by Jenna Waltho

Adjourn meeting at 8:44 p.m.

Motion **PASSED** (4-0) /Unanimous



COMMERCIAL CENTER
(TITLE 30)

SILVERADO RANCH BLVD/SCHUSTER ST

PUBLIC HEARING

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST

NZC-20-0030-TESORI, LLC:

ZONE CHANGE to reclassify 3.2 acres from R-E (Rural Estates Residential) Zone and R-2 (Medium Density Residential) Zone to C-2 (General Commercial) Zone.

USE PERMIT to reduce the separation from an on-premises consumption of alcohol establishment (tavern) to a residential use.

WAIVER OF DEVELOPMENT STANDARDS for reduced driveway separation.

DESIGN REVIEWS for the following: 1) 2 commercial centers; and 2) alternative landscaping.

Generally located on the south side of Silverado Ranch Boulevard and the east and west sides of Schuster Street within Enterprise (description on file). JJ/pb/jd (For possible action)

RELATED INFORMATION:

APN:

177-30-503-007; 177-30-503-009

USE PERMIT:

Reduce the separation from a tavern on the eastern parcel to a residential use to the south to 171 feet where 200 feet is the standard per Table 30.44-1 (a 15% reduction).

WAIVER OF DEVELOPMENT STANDARDS:

1. a. Reduce the departure distance to the driveway on the western parcel along Schuster Street from the intersection of Silverado Ranch Boulevard to 92 feet where 190 feet is required per Uniform Standard Drawing 222.1 (a 51.6% reduction).
- b. Reduce the approach distance to the driveway on the eastern parcel along Schuster Street from the intersection of Silverado Ranch Boulevard to 104 feet where 150 feet is required per Uniform Standard Drawing 222.1 (a 30.7% reduction).

DESIGN REVIEWS:

1. a. Commercial center with 1 retail building and a tavern on the eastern parcel.
- b. Commercial center with 2 retail buildings on the western parcel.
2. Alternative parking lot landscaping standards per Figure 30.64-14.

LAND USE PLAN:

ENTERPRISE - COMMERCIAL NEIGHBORHOOD

ENTERPRISE - RESIDENTIAL SUBURBAN (UP TO 8 DU/AC)

BACKGROUND:

Project Description

General Summary

- Site Address: N/A
- Site Acreage: 3.2
- Project Type: 2 commercial centers
- Number of Stories: 1
- Building Height (feet): 30
- Square Feet: 17,250 (eastern parcel)/9,000 (western parcel)
- Parking Required/Provided: 99/100 (eastern parcel)/36/36 (western parcel)

Neighborhood Meeting Summary

The applicant conducted a neighborhood meeting on January 8, 2020 as required by the nonconforming zone boundary amendment process, prior to the formal filing of this application. All owners within 1,500 feet of the project site were notified about the meeting. Four neighbors attended. They had no objections to the request other than concerns about lighting and screening. The applicant has fulfilled all provisions of Title 30 regarding pre-submittal and submittal of a nonconforming zone boundary amendment.

Request

The request is to allow C-2 zoning for 2 commercial centers on the east and west sides of Schuster Street.

Commercial center on the eastern parcel (APN 177-30-503-007)

Site Plans

The plans depict a commercial center consisting of a 5,000 square foot tavern located on the northwestern portion of the parcel and a 12,250 square foot retail building located on the southern portion of the parcel. Parking spaces are provided around the buildings and the parcel has access to the adjacent C-2 zoned parcel to the east, Silverado Ranch Boulevard to the north, and Schuster Street to the west. The approach distance from the driveway on Schuster Street is 104 feet from the intersection with Silverado Ranch Boulevard.

Landscaping

A 15 foot wide landscape area with a detached sidewalk is located along Silverado Ranch Boulevard and Schuster Street. A 10 foot wide landscape area with intense landscaping per Figure 30.64-12 is located along the southern boundary of the parcel. Diamond shaped landscape planters instead of landscape island fingers are distributed throughout the parking lot.

Elevations

The tavern ranges in height from 20 feet to 28 feet and Retail Building 1 ranges in height from 22 feet to 26 feet. Both buildings have flat roofs with parapet walls and similar facades including painted cement plaster, neutral colors, aluminum storefront windows and doors, and awnings.

Floor Plans

The tavern is a 5,000 square foot shell building and Retail Building 1 is a 12,250 square foot shell building with multiple leases spaces.

Commercial center on the western parcel (APN: 177-30-503-009)

Site Plan

The plans depict a commercial center consisting of a 2,500 square foot retail building located on the northeastern portion of the parcel and a 6,500 square foot retail building located on the southern portion of the parcel. Parking spaces are provided between the buildings and the parcel has access to Schuster Street to the east. The departure distance from the driveway on Schuster Street is 92 feet from the intersection with Silverado Ranch Boulevard.

Landscaping

A 15 foot wide landscape area with a detached sidewalk is located along Silverado Ranch Boulevard and a 10 foot wide landscape area is located adjacent to an attached sidewalk along Schuster Street. A 10 foot wide landscape area with intense landscaping per Figure 30.64-12 is located along the southern boundary of the parcel. Landscape island fingers are distributed throughout the parking lot.

Elevations

Retail Building 2 ranges in height from 25 feet to 27 feet and Retail Building 3 ranges in height from 20 feet to 26 feet. Both buildings have flat roofs with parapet walls and similar facades including painted cement plaster, neutral colors, aluminum storefront windows and doors, and awnings.

Floor Plans

Retail Building 2 is a 6,500 square foot shell building and Retail Building 3 is a 2,500 square foot shell building, both with multiple leases spaces.

Signage

Signage is not a part of this request.

Applicant's Justification

The applicant indicates there have been significant changes in the area with increased traffic from I-15 and the construction of hundreds of homes in the surrounding area. Most of the site is planned for Commercial Neighborhood and the adjacent parcel to the east has been recently zoned C-2 so the request is compatible with the area. The increase in intensity to C-2 will not negatively impact the infrastructure and public services in the area since most of the site is already designated Commercial Neighborhood in the Enterprise Land Use Plan. The applicant

also indicates the request conforms to several County goals and policies such as Goal 9 which encourages commercial development integrated in appropriate locations throughout the community and a site design compatible with adjacent land uses and off-site circulation patterns. A landscape buffer will be provided to mitigate negative impacts associated with the use permit.

Prior Land Use Requests

Application Number	Request	Action	Date
DR-17-1061	For a proposed single family residential development and increased finished grade	Approved by BCC	January 2018
TM-17-500210	Single family residential lots	Approved by BCC	January 2018
ZC-0586-17	Reclassified a portion of the site to R-2 zoning with the design review portion withdrawn by the applicant	Approved by BCC	November 2017
TM-0119-17	Single family residential lots - withdrawn	Withdrawn without prejudice	November 2017
VS-0588-17	Vacated and abandoned easements, right-of-way easements, and a portion of right-of-way being Landberg Avenue	Approved by BCC	November 2017
NZC-0308-17	Reclassified a 2.5 acre portion of the site to R-2 zoning for a single family residential development	Withdrawn without prejudice	November 2017
TM-0087-17	Single family residential lots (11)	Withdrawn without prejudice	November 2017
VS-0309-17	Vacated and abandoned government patent easements and right-of-way easements	Withdrawn without prejudice	November 2017

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Residential Suburban (up to 8 du/ac)	R-E	Undeveloped
South	Commercial Neighborhood & Residential Suburban (up to 8 du/ac)	R-E & R-2	Single family residential
East	Commercial Neighborhood	C-2	Undeveloped
West	Residential Suburban (up to 8 du/ac)	R-E	Single family residential

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Current Planning

Zone Change

The applicant shall provide Compelling Justification that approval of the nonconforming zoning boundary amendment is appropriate. A Compelling Justification means the satisfaction of the following criteria as listed below:

- 1. A change in law, policies, trends, or facts after the adoption, re-adoption or amendment of the land use plan that have substantially changed the character or condition of the area, or the circumstances surrounding the property, which makes the proposed nonconforming zone boundary amendment appropriate.*

The Enterprise Land Use Plan was adopted in 2014 designating the area between Silverado Ranch Boulevard and Landberg Avenue and between Valley View Boulevard and Schuster Street as Commercial Neighborhood while the land to the west of Schuster Street and south of Landberg Avenue was designated Residential Suburban. The Enterprise Land Use Plan clearly established Schuster Street and Landberg Avenue as boundaries between the commercial and residential development in the area.

In October 2019, C-2 zoning was approved for the adjacent 2.8 acres to the east by action of NZC-19-0504; and therefore, there has been a change in the facts since the adoption of the plan that makes the proposed nonconforming zone boundary amendment appropriate for the eastern parcel (APN: 177-30-503-007).

In November 2017, R-2 zoning was approved by action of ZC-17-0586 for 16.3 acres to the west of Schuster Street and the south of Landberg Avenue, which included the western parcel of the subject zone change (APN: 177-30-503-009). The plans approved with the R-2 zone change and subsequent design reviews show the western parcel of this request being developed with 5 single family residential lots; therefore, staff finds that there has been no change in law, policies, trends, or facts that have substantially changed the character or condition of the area that makes the proposed non-conforming zone boundary amendment appropriate for the western parcel.

- 2. The density and intensity of the uses allowed by the nonconforming zoning is compatible with the existing and planned land uses in the surrounding area.*

The requested zoning, proposed uses, and the design of the site on the eastern parcel are compatible with the approved zoning and development on the adjacent parcel to the east. The plans submitted with this application and approved with NZC-19-0504 show cross access with both sites. Furthermore, the adjacent parcels to the south are designated Commercial Neighborhood; therefore, the request for the eastern parcel is compatible with the planned land uses to the east and south.

The parcels to the north, west, and south of the western parcel are designated Residential Suburban and the parcel to the south have been approved for R-2 zoning to allow single family residential uses. Furthermore, there are existing single family residences on large lots adjacent to

the west of the site, therefore, staff finds the request for the western parcel is not compatible with the existing and planned land uses in the surrounding area.

3. *There will not be a substantial adverse effect on public facilities and services, such as roads, access, schools, parks, fire and police facilities, and stormwater and drainage facilities, as a result of the uses allowed by the nonconforming zoning.*

There has been no indication from the public service providers that the proposed development will have an adverse effect on public facilities and services; however, C-2 zoning allows more intense uses than C-1 zoning which could adversely impact public facilities and services.

4. *The proposed nonconforming zoning conforms to other applicable adopted plans, goals, and policies.*

The eastern parcel has cross access with the adjacent C-2 parcel to the east and the potential for future access with the adjacent parcels to the south which is designated Commercial Neighborhood in the Enterprise Land Use Plan in conformance with Urban Specific Policy 7 of the Comprehensive Master Plan which states land uses that are complementary and are of similar scale and intensity should provide appropriate connectivity and not be segregated. The connectivity also meets the intent of the district which is for sites which are typically 10 acres or more. Therefore, the request for the eastern parcel complies with the purpose of the C-2 zone, General Commercial District, which is established to accommodate a full range of commercial uses, or mixed commercial and residential uses, in a manner that can be located to serve the needs of the entire community, yet be buffered from having adverse impacts on any adjacent residential neighborhoods.

The western parcel is only 1 acre with no connectivity to the commercial development proposed on the eastern side of Schuster Street and surrounded by residential development to the west and south; therefore, this portion of the request conflicts with the purpose of the C-2 zone, General Commercial District as described above and with Urban Specific Policy 10 which encourages site designs to be compatible with adjacent land uses and off-site circulation patterns, especially when the adjacent land use is a lower density or intensity.

Summary Zone Change

Based on the criteria listed above, staff finds that the applicant has satisfied the requirements for a compelling justification to warrant approval of the application for the eastern parcel (APN: 177-30-503-007). The density and intensity proposed by this request will result in a land use that is compatible with the existing and approved development to the east. Therefore, this project satisfies Urban Specific Policy 7 of the Comprehensive Master Plan, which encourages, in part, that new developments should be complementary and similar in scale and intensity to the surrounding land uses; therefore, staff finds that the proposed zoning is compatible with the existing, approved, and planned development in the area.

Based on the analysis above, staff finds that the applicant has not demonstrated a change in law, policies, trends, or facts to justify reclassifying the western parcel (APN: 177-30-503-009) to a

C-2 zoning district. The intensity of this portion of the project is not compatible with the existing, proposed, or approved development in the area and does not comply with other applicable plans, goals, and policies; therefore, staff finds that the applicant has not provided a compelling justification to warrant reclassification of the site to a C-2 zone.

Use Permit

A use permit is a discretionary land use application that is considered on a case by case basis in consideration of Title 30 and the Comprehensive Master Plan. One of several criteria the applicant must establish is that the use is appropriate at the proposed location and demonstrate the use shall not result in a substantial or undue adverse effect on adjacent properties.

Staff finds the reduced separation is reasonable since the nearest residential property is the adjacent parcel to the south which is designated Commercial Neighborhood in the land use plan and the other residential uses in the area are on the west side of Schuster Street. Furthermore, the retail building is located between the tavern and the residential uses and the plans show landscaping which exceeds Code requirements along the southern and western boundaries of the site which will mitigate any negative impacts from the use on this site.

Waiver of Development Standards

According to Title 30, the applicant shall have the burden of proof to establish that the proposed request is appropriate for its existing location by showing that the uses of the area adjacent to the property included in the waiver of development standards request will not be affected in a substantially adverse manner. The intent and purpose of a waiver of development standards is to modify a development standard where the provision of an alternative standard, or other factors which mitigate the impact of the relaxed standard, may justify an alternative.

Design Review #1a

The design of the buildings with the varying heights and pop-outs complies with Urban Specific Policy 78 of the Comprehensive Master Plan which encourages commercial developments to use enhanced architecture. The landscaping around the perimeter of the site meets or exceeds Code requirements and conforms to Urban Specific Policy 62 which encourages intense buffering and design features on the perimeter adjacent to single family uses. Cross access has been provided with the adjacent parcel to the east in conformance with Urban Specific Policy 65 which encourages cross access with adjoining commercial sites. However, the access provided with this request is not in alignment with the cross access shown on the plans approved for the adjacent parcel to the east; therefore, staff can support this request for the eastern parcel with a condition requiring cross access to match the cross access on the adjacent parcel to the east.

Design Review #1b

Approval of the design review for the western parcel is contingent upon approval of the zone change which staff cannot support; therefore, staff cannot support this portion of the request.

Design Review #2

The diamond-shaped landscape planters are 7 feet by 7 feet and the parking spaces are 10 feet wide and 19 feet long and the applicant has provided landscape buffers around the entire

perimeter of the property that meet or exceed Title 30 standards; therefore, staff can support this portion of the request.

Public Works - Development Review

Waiver of Development Standards

Staff cannot support the reduction of the departure or the approach distances along Schuster Street. Staff has concerns with the traffic coming off of Silverado Ranch Boulevard as well as the residential traffic to the south being in conflict with movements from both of the commercial driveways on Schuster Street.

Staff Recommendation

Approval of the zone change for the eastern parcel (APN: 177-30-503-007), use permit, design reviews #1a and #2; denial of the zone change and design review #1b for the western parcel (APN: 177-30-503-009), and the waiver of development standards. This item will be forwarded to the Board of County Commissioners' meeting for final action on April 8, 2020 at 9:00 a.m., unless otherwise announced.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

If approved:

- Resolution of Intent to complete in 3 years;
- Cross access to match the alignment for the cross access on the adjacent parcel to the east;
- Intense landscaping per Figure 30.64-12 along the southern and western property lines of the western parcel (APN: 177-30-503-009);
- Certificate of Occupancy and/or business license shall not be issued without final zoning inspection.
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; and that the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified.

Public Works - Development Review

- Drainage study and compliance;
- Traffic study and compliance;
- Full off-site improvements.

Building Department - Fire Prevention

- Applicant is advised that fire protection may be required for this facility and to contact Fire Prevention for further information at (702) 455-7316.

Clark County Water Reclamation District (CCWRD)

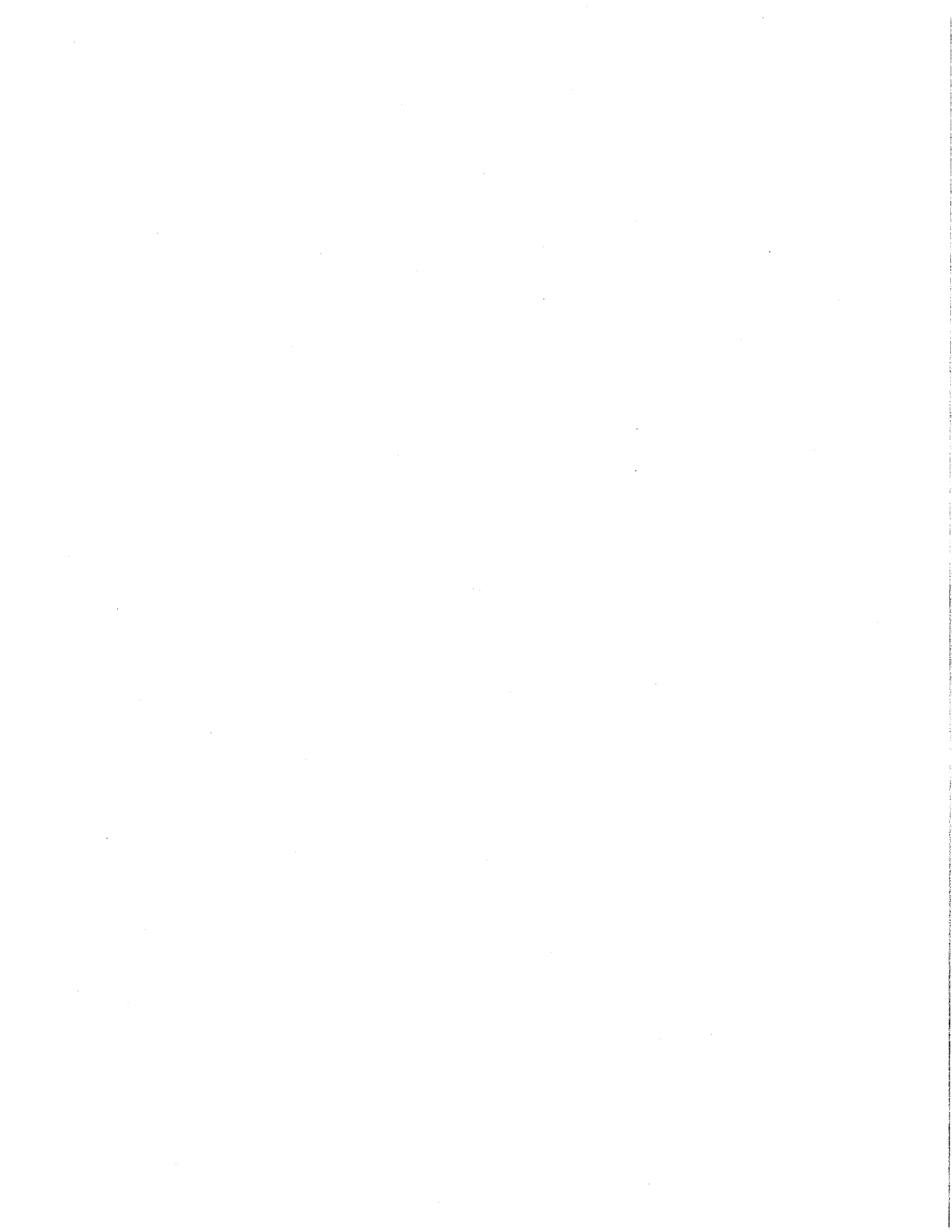
- Applicant is advised that a Point of Connection (POC) request has been initiated for this project; to email sewerlocation@cleanwaterteam.com and reference POC Tracking #0628-2019 to obtain your POC exhibit; and that flow contributions exceeding CCWRD estimates may require another POC analysis.

TAB/CAC:
APPROVALS:
PROTESTS:

APPLICANT: TESORI, LLC

CONTACT: STEPHANIE ALLEN, KAEMPFER CROWELL, 1980 FESTIVAL PLAZA
DRIVE, SUITE 650, LAS VEGAS, NV 89135

DRAFT





LAND USE APPLICATION 1A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input checked="" type="checkbox"/> ZONE CHANGE <input type="checkbox"/> CONFORMING (ZC) <input checked="" type="checkbox"/> NONCONFORMING (NZC) <input checked="" type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input checked="" type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input checked="" type="checkbox"/> DESIGN REVIEW (DR) <input checked="" type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) _____ (ORIGINAL APPLICATION #)	STAFF	DATE FILED: <u>1/10/20</u> APP. NUMBER: <u>NCC-20-0030</u> PLANNER ASSIGNED: <u>AM</u> TAB/CAC: <u>Enterprise</u> ACCEPTED BY: _____ TAB/CAC MTG DATE: <u>2/12 TIME: 6:00</u> FEE: <u>\$3,200.00</u> PG MEETING DATE: <u>3/3/20</u> CHECK #: <u>Billed</u> BCC MEETING DATE: <u>4/8/20</u> COMMISSIONER: <u>JD</u> ZONE / AE / RNP: <u>AE9B21ND</u> OVERLAY(S)? <u>NA</u> PLANNED LAND USE: <u>RS LCN</u> PUBLIC HEARING? <input checked="" type="checkbox"/> N NOTIFICATION RADIUS: <u>150</u> SIGN? <input checked="" type="checkbox"/> N TRAILS? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N PFNA? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N APPROVAL/DENIAL BY: _____ COMMENCE/COMPLETE: _____
PROPERTY OWNER	NAME: <u>Tesori, LLC</u> ADDRESS: <u>P O Box 4116 RPO</u> CITY: <u>Mississauga ON L4W 5-5C9</u> STATE: <u>Canada</u> ZIP: <u>n/a</u> TELEPHONE: <u>000-000-0000</u> CELL: <u>000-000-0000</u> E-MAIL: <u>n/a</u>	
APPLICANT	NAME: <u>Tesori, LLC</u> ADDRESS: <u>P O Box 4116 RPO</u> CITY: <u>Mississauga ON L4W 5-5C9</u> STATE: <u>Canada</u> ZIP: <u>n/a</u> TELEPHONE: <u>000-000-0000</u> CELL: <u>000-000-0000</u> E-MAIL: <u>n/a</u> REF CONTACT ID #: <u>n/a</u>	
CORRESPONDENT	NAME: <u>Stephanie Allen - Kaempfer Crowell</u> ADDRESS: <u>1980 Festival Plaza Dr. # 650</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89135</u> TELEPHONE: <u>702-792-7000</u> CELL: <u>000-000-0000</u> E-MAIL: <u>sha@kcnvlaw.com</u> REF CONTACT ID #: <u>169304</u>	

ASSESSOR'S PARCEL NUMBER(S): 177-30-503-007 and 009

PROPERTY ADDRESS and/or CROSS STREETS: Silverado Ranch and Arville

PROJECT DESCRIPTION: Non-conforming zone change for a commercial retail center

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

Property Owner (Signature): _____
 Property Owner (Print): Rambo Shyy

STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON January 9, 2020 (DATE)
 By Rambo Shyy

NOTARY PUBLIC: Warren Harris

WARREN HARRIS
 Notary Public-State of Nevada
 APPT. NO. 18-2449-1
 My Appt. Expires 05-01-2022

*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.

**KAEMPFER
CROWELL**

ATTORNEYS AT LAW

LAS VEGAS OFFICE

STEPHANIE HARDIE ALLEN
sallen@kcnylaw.com
702.792.7045

LAS VEGAS OFFICE
1980 Festival Plaza Drive
Suite 650
Las Vegas, NV 89135
Tel: 702.792.7000
Fax: 702.795.7181

RENO OFFICE
50 West Liberty Street
Suite 700
Reno, NV 89501
Tel: 775.852.8800
Fax: 775.327.2011

CARSON CITY OFFICE
510 West Fourth Street
Carson City, NV 89703
Tel: 775.884.8300
Fax: 775.882.0257

January 10, 2020

N20-20-0030

Via Hand Delivery

Clark County Department of Comprehensive Planning
500 S. Grand Central Pkwy., 1st Floor
Las Vegas, NV 89106

**Re: Justification Letter and Project Description for Nonconforming
Zone Change near Silverado Ranch Boulevard and Valley View
(APN 177-30-503-007 & 009)**

To Whom It May Concern:

This firm represents the property owner and applicant in the above referenced matter. The proposed project is located on approximately 3.2 acres near the southwest corner of Silverado Ranch Boulevard and Valley View (the "Property"). The Property is more particularly described as Assessor's Parcel Number 177-30-503-007 and 009. The Property is master planned Commercial Neighborhood and Residential Suburban. The Applicant is requesting a non-conforming zone change to C-2 on the Property, a special use permit to reduce the separation between a residential use and on-premises consumption of alcohol, a wavier for departure distance requirements and a design review for the commercial center.

1. Non-Conforming Zone Change to C-2

According to the Enterprise Land Use Plan, C-2 commercial zoning allows medium to high intensity retail and commercial uses which are appropriate near major intersections such as Silverado Ranch and Valley View. One of the primary land use goals in Clark County is to provide a mix of uses including commercial within close proximity of each other. This area at Silverado Ranch Boulevard and Valley View has seen significant growth over the last few years with the interchange at Silverado Ranch and I-15 providing increased vehicular traffic both east and west and hundreds of homes being constructed in the area. With the changes in the area, commercial services are needed to serve the surrounding community. The proposed site plan will provide approximately 21,500 square feet of retail space and a 5,000 square foot tavern operation fronting on Silverado Ranch Boulevard.

CIVIL
ENGINEERING

This request satisfies the criteria for a nonconforming zone change with the compelling justification required by Title 30 as follows:

- 1. A change in law, policies, trends, or facts after the adoption of the land use plan that have substantially changed the character or condition of the area, or the circumstances surrounding the property, which makes the proposed nonconforming zone boundary amendment appropriate:**

The Enterprise Land Use Plan was last amended on October 23, 2014. It is the applicant's belief that significant changes have occurred in the area with increased traffic from I-15 both west and east and with the construction of hundreds of homes in the surrounding area. Commercial services are needed to serve the rooftops in the area. Moreover, the requested change is consistent with the original intent of the Land Use Plan, which contemplated Commercial Neighborhood zoning. The requested C-2 zoning will provide some additional flexibility on the uses allowed on the Property and specifically will allow the potential for a tavern operator on the Property.

- 2. The density or intensity of the uses allowed by the nonconforming zoning is compatible with the existing and planned land uses in the surrounding area:**

Most of the Property is already planned for Commercial Neighborhood. The request for C-2 zoning will allow additional opportunity for uses, specially a tavern on the Property. The property adjacent to the east has requested similar zoning and the property across Valley View to the east is planned for Commercial General, so the request is consistent with the surrounding properties on the south side of Silverado Ranch Boulevard. Additionally, the site plan has been designed such that the residential to the south is buffered with a decorative block wall, landscaping and a 26 foot tall retail building.

- 3. There will not be a substantial adverse effect on public facilities and services, such as roads, access, schools, parks, fire, and police facilities, and storm water and drainage facilities, as a result of the uses allowed by the nonconforming zone change:**

The proposed zone change will not negatively impact the surrounding infrastructure in the area. This Property is located along Silverado Ranch Boulevard near Valley View, both of which are designed to handle high volumes of traffic. Most of the Property is already planned for Commercial Neighborhood and just across Valley View is planned for Commercial General, so the area is currently planned for commercial uses. Of course, the Applicant will mitigate any impacts that the proposed development may have on the area by preparing the necessary technical studies and complying with any measures deemed necessary to address drainage, traffic or other areas of concern.

- 4. The proposed nonconforming zone conforms to other applicable adopted plans, goals, and policies:**

The Enterprise Township is one of the fastest growing Planning Areas in Clark County. The Enterprise Land Use Plan indicates that between 2000 and 2014, the population grew 704% and it has continued to grow exponentially over the last 5 years. The rooftops require nearby commercial services. Pursuant to the general goals and policies of the new Urban Land Use Policies, Goal 1 encourages "a comprehensive land use plan to promote economic viability, employment opportunities with development that is compatible with adjacent land uses, the natural environment and is well integrated with appropriate circulation systems, services and facilities." The proposed commercial development will create construction jobs and permanent jobs for tenant employees. It will promote economic viability by providing convenient and much-needed services to people in the surrounding area.

Goal 2 encourages "opportunities for a mix of uses such as commercial, office, recreational, entertainment, public facilities, multi family residential and other activities within close proximity to each other." Here, the property is within close proximity to various types of uses, including other commercial developments, homes and even a nearby neighborhood casino. This will allow property owners nearby a variety of uses within a few miles.

Goal 9 encourages "commercial development integrated in appropriate locations throughout the community." Here, the proposed development is located near existing commercial shopping centers and residential communities. This will allow for a reduction in travel for customers due to its close proximity.

Policy 10 "encourage[s] site design to be compatible with adjacent land use and off-site circulation patterns." Here, the Property is located on Silverado Ranch Boulevard near Valley View, allowing ideal circulation for commercial retail services. It is located near public facilities and mass transit stops necessary to support additional customers.

Not only is the proposed development compatible with the general Land Use Policies, but it is also compatible with the more specific Commercial policies, including, but not limited to the following policies:

- Policies 59, 60 and 62 encourage that when commercial development is adjacent to residential that noise, lighting and signage be considerate of the existing residential and that buffers are provided such as block walls and landscaping. The Property has been designed with the retail building adjacent to the southern property line to buffer the residential to south from noise, lighting and signage. Also, a block wall and landscaping will be provided along the property line. The building height is limited to 26 feet in height which is lower than many residential homes as well.
- Policy 65 encourages opportunities for cross access with adjoining sites. While the Property to the south is developed as residential today, most of it is master planned for commercial development, so the Property has been designed to allow for future cross access to the south and to the east.

- Policy 67 encourages site planning and building design to ensure commercial developments are compatible with abutting uses. Here, the abutting properties include future commercial uses.
- Policy 73 encourages perimeter and interior parking lot trees for shade and visual relief, while maintaining view corridors to storefront areas. Here, the landscape plan shows trees throughout the parking lot, both interior and along the perimeter, to provide both shade and visual relief within the parking lot.
- Policy 79 encourages commercial developments to use visually articulated elements, including, but not limited to towers, domes, decorative fascias or parapets, pilasters or columns, arcades or colonades, decorative details, etc. Here, the elevations show large, decorative windows, a modern design with flat roofs and various architectural elements, including columns, pop-outs, parapets, and metal details. The colors are neutral sand colors to blend with the surrounding landscape.

The proposed plan meets the goals and polices set forth in the Land Use Plan.

2. Special Use Permit To Allow On-Premise Consumption of Alcohol

The proposed tavern on the Property is located approximately 170 feet from the property line of the existing residential to the south. The property to the south is master planned for commercial, and although it is currently used for residential, and the property owners explained at a neighborhood meeting that they plan to develop or sell the land for commercial. A landscape buffer, block wall and the retail building will buffer the residential to the south. At a future date, if the property to the south is developed as commercial, there is space for cross-access.

A tavern in the area will provide food and drinks for residents who currently have limited services. The use will not have a negative impact on the area as it fronts onto Silverado Ranch Boulevard, a highly traveled roadway, and sits on the corner of Silverado Ranch Boulevard Schuster Street. Additionally, there are planned commercial uses immediately to the east of the Property along Valley View.

3. Design Reviews

The Property has been designed to be compatible with the surrounding area. There are 3 retail buildings ranging in size from 2,500 square feet to 12, 500 square feet for a total of 21,500 square feet and a 5,000 square foot tavern at the corner of Silverado Ranch Boulevard and Schuster Street. There is convenient access off Silverado Ranch Boulevard and off Schuster Street. The maximum height of the tavern building is 30 feet in height and the retail building is 26 feet in height. The design is contemporary with flat roofs, neutral colors, large windows and visual interest. The retail building will allow multiple neighborhood commercial uses to serve

the surrounding area and the tavern is conveniently located on Silverado Ranch Boulevard for patrons to easily see and visit. The overall commercial center will be an amenity for the area and has been designed to be consistent and compatible with the surrounding planned and existing uses.

We are also requesting a waiver of development standards to reduce the departure distance along Schuster Street to 92 feet where 190 feet is required and reduce the approach distance to 104 feet where 150 feet is required. The parcel is not long enough to accommodate the required distances.

Thank you for your consideration. Should you have any questions, please do not hesitate to contact me at (702) 792-7045.

Sincerely,

KAEMPFER CROWELL



Stephanie H. Allen

03/17/20 PC AGENDA SHEET

STREET NAME CHANGE
(TITLE 30)

DEAN MARTIN DR/BLUE DIAMOND RD

PUBLIC HEARING

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST

SC-20-0097-MAJESTIC NV PPTY HOLDINGS, LLC:

STREET NAME CHANGE to name a private drive aisle Silverton Village Drive.

Generally located on the south side of Blue Diamond Road, east of Dean Martin Drive within Enterprise. JJ/dm/ja (For possible action)

RELATED INFORMATION:

APN:

177-17-111-004; 177-17-111-006; 177-17-111-010

LAND USE PLAN:

ENTERPRISE - COMMERCIAL TOURIST

BACKGROUND:

Project Description

General Summary

- Site Address: None
- Project Type: Name an unnamed drive aisle

Applicant's Justification

The applicant is requesting to name a private drive aisle Silverton Village Drive, to enhance the primary entrance into the Silverton Casino. Naming the private entrance will assist with deliveries and provide convenience for visitors locating the property.

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Commercial Tourist	H-1	Resort Hotel
South	Commercial Tourist	H-1	Undeveloped
East	Commercial Tourist	H-1	Hotel and restaurant
West	Commercial Tourist	H-1	Shopping Center

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Current Planning

The private drive aisle runs east/west and is located between Dean Martin Drive and another unnamed north/south drive aisle. This entrance provides the primary access to the Silverton Casino and a timeshare hotel tower. The applicant is requesting to keep the current addresses assigned to the existing buildings. This private drive aisle was constructed on the Shelbourne Avenue alignment after the public right-of-way was vacated. Due to I-15 being located to the east and a new shopping center to the west, the proposed name Silverton Village Drive cannot, and will not connect to any existing segment of Shelbourne Avenue. The Combined Fire Communication Center has approved the street name. Staff cannot support the application because The Las Vegas Valley Street Naming & Assignment Policy only allows for the naming of dedicated streets and does not support naming drive aisles.

Staff Recommendation

Denial.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

If approved:

- Subject to Silverton Village Drive.
- Applicant is advised that they are responsible for the installation of street signs per Public Works requirements.

Public Works - Development Review

- No comment.

Clark County Water Reclamation District (CCWRD)

- No comment.

**TAB/CAC;
APPROVALS;
PROTESTS**

APPLICANT: RICK LANE

CONTACT: GREG BORGEL, 300 S. 4TH STREET, SUITE 1400, LAS VEGAS, NV 89101



LAND USE APPLICATION 2A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input type="checkbox"/> ZONE CHANGE <input type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (NZC) <input type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input type="checkbox"/> DESIGN REVIEW (DR) <input type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input checked="" type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) _____ (ORIGINAL APPLICATION #)	STAFF	DATE FILED: <u>1/31/2020</u> PLANNER ASSIGNED: <u>DMM</u> ACCEPTED BY: _____ FEE: <u>\$400</u> CHECK #: _____ COMMISSIONER: <u>JJ</u> OVERLAY(S)? <u>MUD2</u> PUBLIC HEARING? <u>Y/N</u> TRAILS? <u>Y/N</u> PFNA? <u>Y/N</u> APPROVAL/DENIAL BY: _____	APP. NUMBER: <u>SC 20-0091</u> TAB/CAC: <u>Enterprise</u> TAB/CAC MTG DATE: <u>2/26/20</u> TIME: <u>6pm</u> PC MEETING DATE: <u>3/17/20</u> BCC MEETING DATE: _____ ZONE / AE / RNP: <u>H-1</u> PLANNED LAND USE: <u>CT</u> NOTIFICATION RADIUS: <u>0</u> SIGN? <u>Y/N</u> LETTER DUE DATE: _____ COMMENCE/COMPLETE: _____
	PROPERTY OWNER	NAME: <u>Majestic Enterprise Holdings LLC</u> ADDRESS: <u>13191 Crossroads Pkwy NO 6th FLR</u> CITY: <u>City of Industry</u> STATE: <u>CA</u> ZIP: <u>91746</u> TELEPHONE: <u>702-914-8635</u> CELL: <u>(702) 429-9995</u> E-MAIL: <u>rick.lane@silvertoncasino.com</u>	
	APPLICANT	NAME: <u>Rick Lane</u> ADDRESS: <u>3333 Blue Diamond Rd.</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89139</u> TELEPHONE: <u>702-914-8635</u> CELL: <u>702-429-9995</u> E-MAIL: <u>rick.lane@silvertoncasino.com</u> REF CONTACT ID #: <u>184747</u>	
	CORRESPONDENT	NAME: <u>Greg Borgel</u> ADDRESS: <u>300 S. Fourth Street-Suite 1400</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89101</u> TELEPHONE: <u>(702) 791-8219</u> CELL: <u>(702) 235-8889</u> E-MAIL: <u>gborgel@fclaw.com</u> REF CONTACT ID #: <u>172242</u>	

ASSESSOR'S PARCEL NUMBER(S): 177-17-111-004 177-17-111-006 010 ;

PROPERTY ADDRESS and/or CROSS STREETS: 8250 Dean Martin Drive

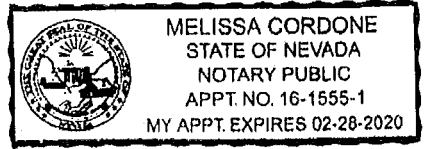
PROJECT DESCRIPTION: Name change for existing drive aisle to be named "Silverton Village Drive"

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

 Craig D. Cavileer
 Property Owner (Print)

Property Owner (Signature)*
 STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON 12/17/19 (DATE)
 By Melissa Cordone
 NOTARY PUBLIC: M Cordone



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.

January 17, 2020

Clark Co. Planning
Hand delivered

Dear Ladies/Gentlemen:

Please accept this as the required justification letter to name a private drive "Silverton Village Drive" at the Silverton Hotel-Casino, APN 177-17-111-004, as shown on the separately-submitted plan:

1. Silverton Hotel has a complex system of private drives which access off of Dean Martin Drive.
2. Dean Martin Drive is nominally a north-south street, but also traverses Silverton property in an east-west direction.
3. Several Silverton Hotel structures are located on a currently-unnamed drive some distance from Dean Martin Drive.
4. The subject structures would be far easier for visitors to find if the drive accessing those buildings had a unique name and appropriate signage at the intersection with Dean Martin Drive.

Justification: Convenience for visitors and deliveries would be significantly enhanced if the street name "Silverton Village Drive" were applied to the drive in question. "Silverton Village Drive" has been approved through the Fire Alarm Office. The applicant does not believe it is necessary to change the street addresses assigned to the buildings in question, but merely wishes to have the relevant private drive named and identified.



Rick Lane
333 Blue Diamond Road
Las Vegas NV 89139
Ph: 702-429-9995

03/17/20 PC AGENDA SHEET

EASEMENT/RIGHTS-OF-WAY
(TITLE 30)

BLUE DIAMOND RD/RAINBOW BLVD

PUBLIC HEARING

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST

VS-20-0081-KULAR, GULZAR SINGH:

VACATE AND ABANDON an easement of interest to Clark County located between Blue Diamond Road and Agate Avenue (alignment) and between Rainbow Boulevard and Inspiration Drive (alignment) and a portion of right-of-way being Rainbow Boulevard located between Blue Diamond Road and Agate Avenue (alignment) and Agate Avenue (alignment) between Rainbow Boulevard and Inspiration Drive (alignment) within Enterprise (description on file). W/jor/ja (For possible action)

RELATED INFORMATION:

APN:

176-23-201-016; 176-23-201-017

LAND USE PLAN:

ENTERPRISE - COMMERCIAL GENERAL

BACKGROUND:

Project Description

The plans depict a request to vacate and abandon a drainage easement (Document No. 20030805:00860) located along the west property line of Assessor's Parcel Number (APN): 176-23-201-017. The applicant is also requesting to vacate the following portions of rights-of-way along Rainbow Boulevard and Agate Avenue (alignment) to be vacated: BLM Grant N-74332, BLM Grant N-75198, and the recorded portion of right-of-way via Document No. 901-723758. Vacating these rights-of-way and drainage easement is necessary for development of the site.

Prior Land Use Requests

Application Number	Request	Action	Date
VS-18-0877	Vacated easements	Approved by BCC	December 2018
WC-18-400241 (ZC-0532-04)	Waived a condition of a zone change requiring the recordation of perpetual cross access, ingress/egress, and parking easements, if the properties are subdivided or developed independently	Approved by BCC	December 2018

Application Number	Request	Action	Date
ZC-0532-04	Reclassified 7.5 acres from H-2 and C-1 zoning to C-2 zoning	Approved by BCC	May 2004

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Commercial General	C-2	Retail store under construction
South	Business and Design/Research Park	C-2	Undeveloped
East	Commercial General	H-2	Undeveloped
West	Commercial General	C-2	Convenience store with gasoline pumps and undeveloped parcel

The subject site is within the Public Facilities Needs Assessment (PFNA) area.

3 Related Applications

Application Number	Request
WS-20-0080	A waiver of development standards and design review for a convenience store, gasoline pumps, vehicle wash, restaurant with a drive-thru, and smog check kiosk is a companion item on this agenda.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Public Works – Development Review

Staff has no objection to the vacation of easements that are not necessary for site, drainage, or roadway development.

Staff Recommendation

Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

- Satisfy utility companies' requirements.
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that the recording of the order of vacation in

the Office of the County Recorder must be completed within 2 years of the approval date or the application will expire.

Public Works - Development Review

- Drainage study and compliance;
- Right-of-way dedication to include a minimum of 55 feet to the back of curb for Rainbow Boulevard and the associated spandrel;
- Applicant shall coordinate with Public Works - Traffic Management to clarify the extent of the vacation and the necessary dedication for Rainbow Boulevard;
- If required by the Regional Transportation Commission (RTC), dedicate and construct right-of-way for bus turnout including passenger loading/shelter areas in accordance with RTC standards.
- Applicant is advised that the installation of detached sidewalks will require granting necessary easements for utilities, pedestrian access, streetlights, and traffic control.

Building Department - Fire Prevention

- No Comments

Clark County Water Reclamation District (CCWRD)

- The Clark County Water Reclamation District (CCWRD) has existing or proposed assets within the area proposed to be vacated per VS-0081-20, CCWRD has no objection to the request for vacation as presented; however, CCWRD requests all existing rights granted to us within the easements/right-of-way are reserved; it is understood that this vacation shall not reduce our rights to operate and maintain our facilities; and CCWRD also requests that drivable access be able to handle H-20 loading and is maintained by fee owner.

TAB/CAC:
APPROVALS:
PROTESTS:

APPLICANT: GULZAR SINGH KULAR
CONTACT: JOHN VORNSAND, 62 SWAN CIRCLE, HENDERSON, NV 89074



VACATION APPLICATION 3A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SUBMITTAL REQUIREMENTS ARE LISTED ON BACK

APPLICATION TYPE	STAFF	DATE FILED: <u>1/30/20</u>	APP. NUMBER: <u>VS-20-0081</u>
<input checked="" type="checkbox"/> VACATION & ABANDONMENT (VS) <input checked="" type="checkbox"/> EASEMENT(S) <input checked="" type="checkbox"/> RIGHT(S)-OF-WAY <input type="checkbox"/> EXTENSION OF TIME (ET) (ORIGINAL APPLICATION #):		PLANNER ASSIGNED: <u>JOR</u>	TAB/CAC <u>Enterprise</u>
FEE: <u>875</u> CHECK #: <u>105</u>		PC MEETING DATE: <u>3/17/20</u>	
COMMISSIONER: <u>JJ</u>		BCC MTG DATE: _____	
OVERLAY(S)? <u>NONE</u>		ZONE / AE / RNP: <u>C2 Cg</u>	
TRAILS? <u>Y/N</u> PFNA? <u>Y/N</u>		PLANNED LAND USE: <u>Cg</u>	

PROPERTY OWNER	NAME: <u>Gulzar Singh Kular</u>
	ADDRESS: <u>955 Temple View Dr.</u>
	CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89110</u>
	TELEPHONE: <u>702-306-7872</u> CELL: <u>702-306-7872</u>
	E-MAIL: <u>kularg91@gmail.com</u>

APPLICANT	NAME: <u>Gulzar Kular</u>
	ADDRESS: <u>955 Temple View Dr.</u>
	CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89110</u>
	TELEPHONE: <u>702-306-7872</u> CELL: <u>702-306-7872</u>
	E-MAIL: <u>kularg91@gmail.com</u> REF CONTACT ID #: <u>199090</u>

CORRESPONDENT	NAME: <u>JOHN VORNSAND</u>
	ADDRESS: <u>62 SWAN CIRCLE</u>
	CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89074</u>
	TELEPHONE: <u>702-869-2932</u> CELL: _____
	E-MAIL: <u>LANDUSEPLANNING@EMBARQMAIL.COM</u> REF CONTACT ID #: <u>165449</u>

ASSESSOR'S PARCEL NUMBER(S): 176-23-201-017 & 016

PROPERTY ADDRESS and/or CROSS STREETS: NEC Blue Diamond and Rainbow

I, (We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted

Property Owner (Signature)*	<u>GULZAR SINGH KULAR</u> Property Owner (Print)
STATE OF NEVADA COUNTY OF <u>Clark</u>	
SUBSCRIBED AND SWORN BEFORE ME ON <u>1-15-2020</u> (DATE) By <u>Gulzar Singh Kular</u>	NOTARY PUBLIC:

*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.

1/29/20

Gulzar Kular

955 Temple View Dr.
Las Vegas, NV 89110
702-306-7872
kularg91@gmail.com

VS-20-0081

Re: Justification Letter for Vacation of Easements and Patents NEC Blue Diamond and Rainbow

Applicant is requesting to vacate:

Drainage Easement 20030805:860
Public Right of Way 901:723758
Public Right of Way 20011221:805
Public Right of Way 20030805:860
Public Right of Way 20020918:510

Vacations be completed per the request of Clark County Public Works.

Sincerely,
Gulzar Kular

03/17/20 PC AGENDA SHEET

HEIGHT INCREASE
(TITLE 30)

ROBINDALE RD/DUNEVILLE ST

PUBLIC HEARING
APP. NUMBER/OWNER/DESCRIPTION OF REQUEST
WS-20-0064-HERITAGE 2, INC.:

WAIVER OF DEVELOPMENT STANDARDS to increase the building height of a single family residence.

DESIGN REVIEW for a single family residential development on 19.6 acres in an R-2 (Medium Density Residential) Zone.

Generally located on the south side of Robindale Road and the east side of Duneville Street within Enterprise. MN/jor/ja (For possible action)

RELATED INFORMATION:

APN:

176-12-301-005; 176-12-301-006; 176-12-301-012; 176-12-301-022; 176-12-301-027; 176-12-301-030

WAIVER OF DEVELOPMENT STANDARDS:

Increase the building height of a single family residence in conjunction with an approved single family residential development to 38 feet where 35 feet is the maximum standard per Table 30.40-2 (a 9% increase).

LAND USE PLAN:

ENTERPRISE - RESIDENTIAL MEDIUM (FROM 3 DU/AC TO 14 DU/AC)

BACKGROUND:

Project Description

General Summary

- Site Acreage: 19.6
- Number of Lots: 156 residential/11 common
- Density (du/ac): 8
- Minimum/Maximum Lot Size (square feet): 3,300/5,979
- Project Type: Single family residential development
- Number of Stories: 2 & 3
- Building Height (feet): 38 (maximum)
- Square Feet: 2,018 to 3,026

Site Plans

The plan depicts an approved single family residential development via ZC-19-0494 consisting of 156 residential lots on 19.6 acres with a density of 8 dwelling units per acre. The site has frontage on Robindale Road along the north side, Lindell Road along the east, Duneville Street along the west, and is bisected by Westwind Road, all of which are public rights-of-way and will be fully improved. The plan indicates that 33 of the lots will take direct access from Westwind Road. Access to the remaining 123 lots will be provided by 42 foot wide private streets, which will have a sidewalk located on 1 side of the street. A series of stub streets are also provided within the different neighborhoods. The plans depict 11 common element lots located adjacent to the public streets. The applicant is requesting to increase the height of the 3 story home product type in order to provide 9 foot ceiling heights.

Landscaping

Landscaping and screening were previously approved for this development, and no changes are proposed with this request.

Elevations

Plans were previously approved for 2 and 3 story homes via ZC-19-0494. The 2 story homes are approximately 26 feet in height and the proposed 3 story homes are 38 feet in height. The exterior of the homes are a combination of a stucco finish painted in earth tone colors, brick, stone veneer, and various architectural enhancements to improve the appearance of the homes. No roof top decks are included in the product type.

Floor Plans

The plans depict detached single family residences that are between 2,018 square feet to 3,026 square feet in area. Each residence will have a 2 car garage with options for 3 to 5 bedrooms.

Applicant's Justification

Per the submitted justification letter, the height increase will allow American West Development to provide 9 foot ceiling heights in all levels of the 3 story residential products. The request is less than a 10% increase and approval of the waiver will allow American West Development to provide more options for potential buyers with additional products and upgrades.

Prior Land Use Requests

Application Number	Request	Action	Date
DA-19-900707	Development Agreement – ordinance	Approved by BCC	December 2019
ZC-19-0494	Reclassified 19.6 acres from R-E and M-1 zoning to R-2 zoning, with waivers for increased wall height and reduced street intersection offset	Approved by BCC	September 2019
VS-19-0498	Vacated easements	Approved by BCC	September 2019
TM-19-500127	Single family residential development	Approved by BCC	September 2019

Prior Land Use Requests

Application Number	Request	Action	Date
PA-18-700017	Enterprise Plan Amendment to re-designate 35 acres, which included a portion of this site, from RS and PF to RH and RM	Approved by BCC	March 2019
ZC-1225-05	Reclassified 5 acres on the eastern portion of the site from R-E & M-1 zoning to R-2 zoning for a residential development – expired	Approved by BCC	October 2005
ZC-0437-05	Reclassified the northwestern 7.5 acres of the site from R-E & M-D zoning to R-2 zoning for a single family residential development – expired	Approved by BCC	June 2005
ZC-0411-03	Reclassified the west half of the southernmost parcel to M-1 zoning for an outside storage yard	Approved by BCC	May 2003
ZC-1029-01	Reclassified the east half of the southernmost parcel to M-1 zoning for a storage yard	Approved by BCC	November 2001
ZC-1899-99	Reclassified the northeastern 2.5 acres of the site from R-E to M-1 zoning for a contractor's storage yard – expired	Approved by BCC	February 2000

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Residential Suburban (up to 8 du/ac)	R-2	Single family residences
South	Residential High (from 8 to 18 du/ac) & Residential Suburban (up to 8 du/ac)	R-2 & M-1	Single family residences & an outside storage yard
East	Residential High (from 8 to 18 du/ac) & Residential Suburban (up to 8 du/ac)	R-2 & M-1	Single family residences & undeveloped
West	Residential High (from 8 to 18 du/ac) & Residential Suburban (up to 8 du/ac)	R-2 & M-D	Office/warehouse facility & single family residences

This site and the surrounding area are located within the Public Facilities Needs Assessment (PFNA) area.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Current Planning

Waiver of Development Standards

According to Title 30, the applicant shall have the burden of proof to establish that the proposed request is appropriate for its existing location by showing that the uses of the area adjacent to the

property included in the waiver of development standards request will not be affected in a substantially adverse manner. The intent and purpose of a waiver of development standards is to modify a development standard where the provision of an alternative standard, or other factors which mitigate the impact of the relaxed standard, may justify an alternative. Staff finds the proposed increase in height is minimal and will not have an adverse effect on the abutting developments. A similar waiver (VC-0159-13) was approved to increase the height to 38 feet for 3 story homes on the southeast corner of Windmill Lane and Jones Boulevard (approximately half a mile southwest); therefore, staff recommends approval.

Design Review

Staff has no objection to the proposed architectural features of the single family residences. Similar 3 story homes have been previously approved in the immediate area. Since staff supports the waiver of development standards, staff can also support the design review.

Department of Aviation

The development will penetrate the 100:1 notification airspace surface for McCarran International Airport. Therefore, as required by 14 CFR Part 77, and Section 30.48.120 of the Clark County Unified Development Code, the Federal Aviation Administration (FAA) must be notified of the proposed construction or alteration.

Staff Recommendation

Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that this application must commence within 2 years of approval date or it will expire.

Public Works - Development Review

- No comment.

Department of Aviation

- Applicant is required to file a valid FAA Form 7460-1, "Notice of Proposed Construction or Alteration" with the FAA, in accordance with 14 CFR Part 77, or submit to the Director of Aviation a "Property Owner's Shielding Determination Statement" and request written concurrence from the Department of Aviation;
- If applicant does not obtain written concurrence to a "Property Owner's Shielding Determination Statement," then applicant must also receive either a Permit from the

Director of Aviation or a Variance from the Airport Hazard Areas Board of Adjustment (AHABA) prior to construction as required by Section 30.48 Part B of the Clark County Unified Development Code;

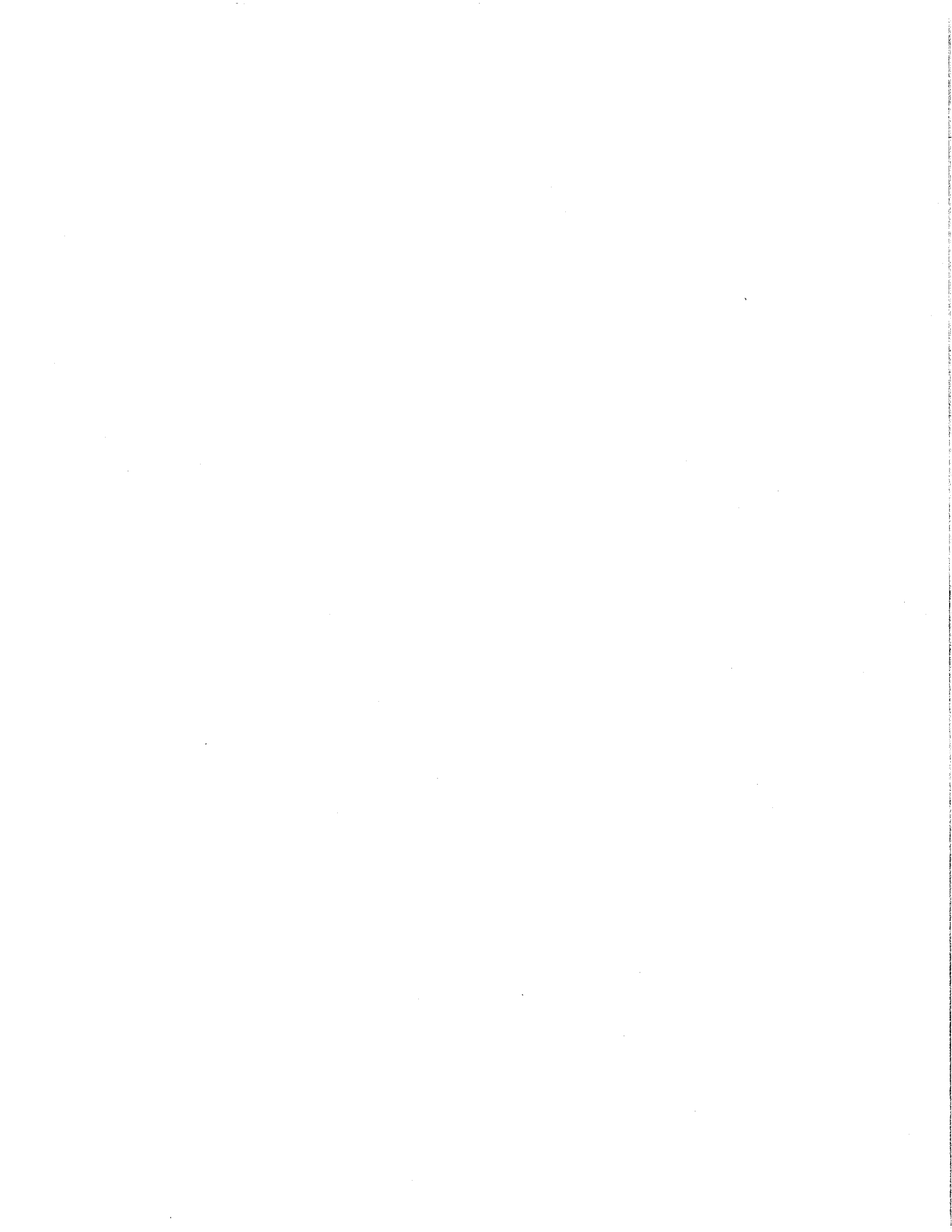
- No building permits should be issued until applicant provides evidence that a "Determination of No Hazard to Air Navigation" has been issued by the FAA or a "Property Owner's Shielding Determination Statement" has been issued by the Department of Aviation.
- Applicant is advised that the FAA's determination is advisory in nature and does not guarantee that a Director's Permit or an AHABA Variance will be approved; that FAA's airspace determinations (the outcome of filing the FAA Form 7460-1) are dependent on petitions by any interested party and the height that will not present a hazard as determined by the FAA may change based on these comments; that the FAA's airspace determinations include expiration dates; and that separate airspace determinations will be needed for construction cranes or other temporary equipment.

Clark County Water Reclamation District (CCWRD)

- Applicant is advised that a Point of Connection (POC) request has been completed for this project; to email sewerlocation@cleanwaterteam.com and reference POC Tracking #0348-2019 to obtain your POC exhibit; and that flow contributions exceeding CCWRD estimates may require another POC analysis.

**TAB/CAC:
APPROVALS:
PROTESTS:**

**APPLICANT: AMERICAN WEST DEVELOPMENT INC.
CONTACT: ACYSHA HARRIS, WESTWOODS PS, 5740 ARVILLE STREET, SUITE 216,
LAS VEGAS, NV 89118**





LAND USE APPLICATION 4A

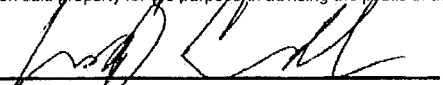
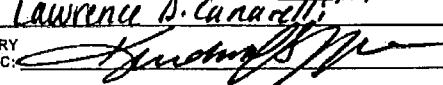
CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION


<input type="checkbox"/> TEXT AMENDMENT (TA) <input type="checkbox"/> ZONE CHANGE <input checked="" type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (NZC) <input type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input checked="" type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input type="checkbox"/> DESIGN REVIEW (DR) <input type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> DEVELOPMENT AGREEMENT (DA)	STAFF	DATE FILED: <u>1/27/20</u> APP. NUMBER: <u>WS-20-0064</u> PLANNER ASSIGNED: <u>MNO</u> TAB/CAC: <u>ENTERPRISE</u> ACCEPTED BY: <u>MNO</u> TAB/CAC MTG DATE: <u>2/26/20</u> TIME: <u>6:00</u> FEE: <u>\$1,150</u> PC MEETING DATE: <u>3/17/20</u> 7:00 P.M. CHECK #: <u>0060714909</u> BCC MEETING DATE: <u>-</u> COMMISSIONER: <u>NAFT</u> ZONE / AE / RNP: <u>R-2 / NONE / NONE</u> OVERLAY(S)? <u>NONE</u> PLANNED LAND USE: <u>ENTRM</u> PUBLIC HEARING? <input checked="" type="checkbox"/> / <input type="checkbox"/> PFNA? <input checked="" type="checkbox"/> / <input type="checkbox"/> TRAILS? <input checked="" type="checkbox"/> / <input type="checkbox"/> LETTER DUE DATE: <u>-</u> APPROVAL/DENIAL BY: <u>-</u> COMMENCE/COMPLETE: <u>-</u>
PROPERTY OWNER	NAME: <u>Heritage 2 Inc</u> ADDRESS: <u>250 Pilot Road, Suite 140</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89119</u> TELEPHONE: <u>702-736-6434</u> CELL: _____ E-MAIL: <u>ksaffle@americanwesthomes.com</u>	
APPLICANT	NAME: <u>American West Development, Inc.</u> ADDRESS: <u>250 Pilot Road, Suite 140</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89118</u> TELEPHONE: <u>702-736-6434</u> CELL: _____ E-MAIL: <u>ksaffle@americanwestho</u> ACA CONTACT ID #: _____	
CORRESPONDENT	NAME: <u>Westwood Professional Services</u> ADDRESS: <u>5740 South Arville, Suite 216</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89118</u> TELEPHONE: <u>702-284-5300</u> CELL: _____ E-MAIL: <u>shgprocessing@shg-inc.C</u> ACA CONTACT ID #: <u>188046</u>	

ASSESSOR'S PARCEL NUMBER(S): 176-12-301-005
 PROPERTY ADDRESS and/or CROSS STREETS: West Robindale Rd & South Westwind Rd
 PROJECT DESCRIPTION: Single Family Residential Subdivision

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I/We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.


 Property Owner (Signature)*
 STATE OF Nevada
 COUNTY OF Clark
 SUBSCRIBED AND SWORN BEFORE ME ON 1/13/2020 (DATE)
 By Lawrence D. Canarelli
 NOTARY PUBLIC: 

Lawrence D. Canarelli
 Property Owner (Print)



KENDRA D. SAFFLE
 Notary Public, State of Nevada
 No. 95-1388-1
 My Appt. Exp. Sep. 21, 2021

*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



LAND USE APPLICATION

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input type="checkbox"/> ZONE CHANGE <input checked="" type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (NZC) <input type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input checked="" type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input type="checkbox"/> DESIGN REVIEW (DR) <input type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) (ORIGINAL APPLICATION #) <input type="checkbox"/> DEVELOPMENT AGREEMENT (DA)	STAFF	DATE FILED: <u>1/27/20</u> PLANNER ASSIGNED: <u>MND</u> ACCEPTED BY: <u>MND</u> FEE: <u>\$1,150</u> CHECK #: <u>0060714909</u> COMMISSIONER: <u>MAFT</u> OVERLAY(S)? <u>NONE</u> PUBLIC HEARING? <u>Y/N</u> TRAILS? <u>Y/N</u> PFNA? <u>Y/N</u> APPROVAL/DENIAL BY: <u>-</u>	APP. NUMBER: <u>125-20-0064</u> TAB/CAC: <u>ENTER PRICE</u> TAB/CAC MTG DATE: <u>2/26/20</u> TIME: <u>6:00</u> PC MEETING DATE: <u>3/12/20 7:00 PM.</u> BCC MEETING DATE: <u>-</u> ZONE / AE / RNP: <u>R-2 / NONE / NONE</u> PLANNED LAND USE: <u>ENTRM</u> NOTIFICATION RADIUS: <u>500'</u> SIGN? <u>Y/N</u> LETTER DUE DATE: <u>-</u> COMMENCE/COMPLETE: <u>-</u>
	PROPERTY OWNER	NAME: <u>CFT Lands, LLC</u> ADDRESS: <u>250 Pilot Road, Suite 140</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89119</u> TELEPHONE: <u>702-736-6434</u> CELL: <u>-</u> E-MAIL: <u>ksaffle@americanwesthomes.com</u>	
	APPLICANT	NAME: <u>American West Development, Inc.</u> ADDRESS: <u>250 Pilot Road, Suite 140</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89118</u> TELEPHONE: <u>702-736-6434</u> CELL: <u>-</u> E-MAIL: <u>ksaffle@americanwestho</u> ACA CONTACT ID #: <u>-</u>	
	CORRESPONDENT	NAME: <u>Westwood Professional Services</u> ADDRESS: <u>5740 South Arville, Suite 216</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89118</u> TELEPHONE: <u>702-284-5300</u> CELL: <u>-</u> E-MAIL: <u>shgprocessing@shg-inc.c</u> ACA CONTACT ID #: <u>188046</u>	

ASSESSOR'S PARCEL NUMBER(S): 176-12-301-006, 012, 022, 027, 030
 PROPERTY ADDRESS and/or CROSS STREETS: West Robindale Rd & South Westwind Rd
 PROJECT DESCRIPTION: Single Family Residential Subdivision

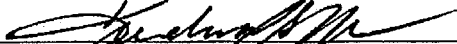
(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I/We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

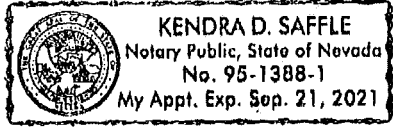

 Property Owner (Signature)*

Lawrence D. Cararelli
 Property Owner (Print)

STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON 1/13/2020 (DATE)
 By Lawrence D. Cararelli

NOTARY PUBLIC: 



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.

January 20, 2020

**PLANNER
COPY**

Current Planning Division
500 South Grand Central Parkway
Las Vegas, NV 89155-4000

**RE: Robindale Westwind
Justification Letter for Waiver of Development Standards
WPS Project No. AWD1907-000; TM-19500127**

Westwood Professional Services, on behalf of our client, American West Development, respectfully submits this justification application for a Waiver of Development Standards.

The project site associated with the subject is approximately 19.55± gross acres and covers APN 176-12-301-005, 006, 012, 022, 027 and 030. It is located in a portion of Section 12, Township 22 South, Range 60 East, M.D.M., Clark County, Nevada. This proposed community will be a single-family subdivision with 156 lots with a gross density of 7.98 dwelling units per acre.

Waiver of Standards

The project is being processed as a Single Family Detached Residential development in accordance with Title 30. This request is to define waivers of Title 30 and CCAUSD for the project needed to develop the site and anticipated product.

1. Section 30.40-2 – Property Development Standards Bulk Matrix

Waiver: Principal Structure Height – 35 Feet

Request: Allow 38-foot Building Height

Justification: This additional height will allow American West Development to provide a 9-foot ceiling height in all levels of their 3-story product. Similar to the over-height wall request, this is a standard waiver for this product that American West Development requests for their subdivisions. This request is less than a 10% increase in height and will allow them to provide more options for potential buyers with additional products.

CONVENIENCE STORE
(TITLE 30)

BLUE DIAMOND RD/RAINBOW BLVD

PUBLIC HEARING

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST

WS-20-0080-KULAR GULZAR SINGH:

WAIVER OF DEVELOPMENT STANDARDS for alternative driveway geometrics.
DESIGN REVIEW for a convenience store with gasoline pumps, vehicle wash, smog check kiosk, and a restaurant with a drive-thru on 2.2 acres in a C-2 (General Commercial) Zone.

Generally located on the north side of Blue Diamond Road and the east side of Rainbow Boulevard within Enterprise. JJ/jor/ja (For possible action)

RELATED INFORMATION:

APN:

176-23-201-016; 176-23-201-017

WAIVER OF DEVELOPMENT STANDARDS:

1. a. Reduce the driveway throat depth to 8 feet, 6 inches where 25 feet is the standard per Clark County Uniform Standard Drawing 222.1 (a 68% decrease).
- b. Reduce the driveway departure distance to 162 feet, 4 inches where 190 feet is the standard per Clark County Uniform Standard Drawing 222.1 (a 15% decrease).

LAND USE PLAN:

ENTERPRISE - COMMERCIAL GENERAL

BACKGROUND:

Project Description

General Summary

- Site Address: N/A
- Site Acreage: 2.2
- Project Type: Convenience store with gasoline pumps, vehicle wash, smog check kiosk, restaurant with a drive-thru
- Number of Stories: 1
- Building Height (feet): 24 (maximum)
- Square Feet: 5,210 (Convenience store)/2,500 (Restaurant)/2,400 (vehicle wash)/5,117 (Gasoline pump fuel canopy)/80 (smog check kiosk)
- Parking Required/Provided: 46/48

Site Plan

The site plan depicts a commercial development on the northeast corner of Rainbow Boulevard and Blue Diamond Road. The applicant is proposing the following structures on the site: a convenience store with gasoline pumps, a vehicle wash, a smog check kiosk, and a restaurant lease space with a drive-thru. Per the site plan, access to the site is via commercial driveways along Blue Diamond Road (southeast corner of the site), and on the northwest corner of the site (along Rainbow Boulevard). The proposed vehicle wash building is located along the north property line. The vehicle wash building is rectangular in shape and is oriented east to west. Vehicles will enter the car wash building on the east side, and exit on the west side of the building. Parking spaces are also available for customers on the south side of the car wash building.

The proposed convenience store is centrally located on the site. The design of the convenience store includes the restaurant lease space on the west side of the building, and the drive-thru is on the north side of the rectangular shaped convenience store structure. The gasoline pumps are south of the convenience store, and a smog check kiosk is located on the southwest corner of the site. Parking spaces are located on the south side of the convenience store and along the west property line. The site also include a trash enclosure along the east property line, pedestrian walkways, and 48 parking spaces where 46 parking spaces are required.

Landscaping

Per the landscaping plan, 24 inch box trees and 5 gallon shrubs will be planted along the east, south, and north property lines. The applicant also provides landscape finger islands within the parking areas, and south of the vehicle wash building. The vehicle wash building is screened from Rainbow Boulevard by the landscape planter.

Elevations

Per the plans, the design of the buildings include the following: stucco finish, stucco reveals and pop-outs, decorative foam trim with a stucco finish, a parapet roof, and aluminum door and window systems. The convenience store building has an overall height of 24 feet. The smog check kiosk has an overall height of 14 feet, and the vehicle wash building has an overall height of 20 feet. The fuel canopy has an overall height of 21 feet and is constructed of an aluminum composite material. The applicant is proposing subdued neutral tones for the exterior paint selection as well as stone veneer to add some architectural interest.

Floor Plans

Per the floor plans, the car wash building includes the vehicle wash tunnel and an equipment room and has an overall area of 2,400 square feet. The convenience store portion of the building includes the retail area, storage rooms, cooler areas, restrooms, gaming area, and a cashier station. The convenience store has an overall area of 5,210 square feet. The restaurant lease space has an area of 2,500 square feet and is a blank canvas for any future tenants. The smog check building has an overall area of 80 square feet.

Signage

Signage is not a part of this request.

Applicant's Justification

The proposed development is a great addition to the surrounding neighborhood since the project offers a convenience store, vehicle wash, gasoline pumps, a potential restaurant, and a smog check kiosk. The design of the project is compatible and should not pose any negative impacts to the immediate area. The waivers of development standards are imperative in order to accommodate the variety of structures/uses on-site.

Prior Land Use Requests

Application Number	Request	Action	Date
VS-18-0877	Vacated easements	Approved by BCC	December 2018
WC-18-400241 (ZC-0532-04)	Waived a condition of a zone change requiring the recordation of perpetual cross access ingress/egress, and parking easements, if the properties are subdivided or developed independently	Approved by BCC	December 2018
ZC-0532-04	Reclassified 7.5 acres from H-2 and C-1 zoning to C-2 zoning	Approved by BCC	May 2004

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Commercial General	C-2	Retail store under construction
South	Business and Design/Research Park	C-2	Undeveloped
East	Commercial General	H-2	Undeveloped
West	Commercial General	C-2	Convenience store with gasoline pumps and undeveloped parcel

The subject site is within the Public Facilities Needs Assessment (PFNA) area.

Related Applications

Application Number	Request
VS-20-0081	A vacation and abandonment request for an easement and rights-of-way is a companion item on this agenda.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Current Planning

Waivers of Development Standards

According to Title 30, the applicant shall have the burden of proof to establish that the proposed request is appropriate for its existing location by showing that the uses of the area adjacent to the property included in the waiver of development standards request will not be affected in a

substantially adverse manner. The intent and purpose of a waiver of development standards is to modify a development standard where the provision of an alternative standard, or other factors which mitigate the impact of the relaxed standard, may justify an alternative.

Design Review

The proposed development is compatible with the surrounding land use and commercial development within the area. The overall design, site layout, and architectural features of the convenience store, gasoline pumps, vehicle wash, restaurant with a drive-thru, and smog check kiosk are harmonious and should not pose any negative effects. The proposed project supports Goal #67 of the Clark County Comprehensive Master Plan which in part, states the following: appropriate buffers, setbacks, drought-tolerant landscaping, building height and materials should be considered and integrated into commercial developments. Staff has no objection to the design review.

Public Works – Development Review

Waiver of Development Standards #1a

The reduction in the throat depth on Rainbow Boulevard is a self-imposed hardship that would create a safety hazard. The traffic movements into the site come to immediate conflicts with the exiting movements of both the car wash and the drive-thru restaurant. Therefore, staff cannot support this request.

Waiver of Development Standards #1b

A site redesign would allow the commercial driveway to meet the minimum departure distance standard, therefore staff cannot support this self-imposed hardship.

Staff Recommendation

Approval of the design review; and denial of the waiver of development standards.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

If approved:

- Certificate of Occupancy and/or business license shall not be issued without final zoning inspection;
- Enter into a standard development agreement prior to any permits or subdivision mapping in order to provide fair-share contribution toward public infrastructure necessary to provide service because of the lack of necessary public services in the area;
- All smog related activities, including vehicles waiting for services, shall only take place within designated parking spaces.

- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that this application must commence within 2 years of approval date or it will expire.

Public Works - Development Review

- Drainage study and compliance;
- Traffic study and compliance;
- Full off-site improvements;
- Right-of-way dedication to include a minimum of 55 feet to the back of curb for Rainbow Boulevard and the associated spandrel;
- Applicant shall coordinate with Public Works - Traffic Management to clarify the extent of the vacation and the necessary dedication for Rainbow Boulevard;
- Off-site improvements along Blue Diamond Road to be coordinated with Nevada Department of Transportation (NDOT), and applicant to provide an approved NDOT encroachment permit to Public Works Development Review Division;
- If required by the Regional Transportation Commission (RTC), dedicate and construct right-of-way for bus turnout including passenger loading/shelter areas in accordance with RTC standards.
- Applicant is advised that the installation of detached sidewalks will require granting necessary easements for utilities, pedestrian access, streetlights, and traffic control.

Building Department - Fire Prevention

- No Comments

Clark County Water Reclamation District (CCWRD)

- Applicant is advised that a Point of Connection (POC) request has been completed for this project; to email sewerlocation@cleanwaterteam.com and reference POC Tracking #0063-2020 to obtain your POC exhibit; and that flow contributions exceeding CCWRD estimates may require another POC analysis.

**TAB/CAC:
APPROVALS:
PROTESTS:**

APPLICANT: GULZAR SINGH KULAR

CONTACT: JOHN VORNSAND, 62 SWAN CIRCLE, HENDERSON, NV 89074



LAND USE APPLICATION 5A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

- TEXT AMENDMENT (TA)
- ZONE CHANGE
 - CONFORMING (ZC)
 - NONCONFORMING (NZC)
- USE PERMIT (UC)
- VARIANCE (VC)
- WAIVER OF DEVELOPMENT STANDARDS (WS)
- DESIGN REVIEW (DR)
 - PUBLIC HEARING
- ADMINISTRATIVE DESIGN REVIEW (ADR)
- STREET NAME / NUMBERING CHANGE (SC)
- WAIVER OF CONDITIONS (WC)
 - (ORIGINAL APPLICATION #)
- ANNEXATION REQUEST (ANX)
- EXTENSION OF TIME (ET)
 - (ORIGINAL APPLICATION #)
- APPLICATION REVIEW (AR)
 - (ORIGINAL APPLICATION #)

STAFF	DATE FILED: <u>1/30/20</u> PLANNER ASSIGNED: <u>JR</u> ACCEPTED BY: _____ FEE: <u>\$1,150</u> CHECK #: <u>103</u> COMMISSIONER: <u>JJ</u> OVERLAY(S)? <u>NONE</u> PUBLIC HEARING? <u>Y/N</u> TRAILS? <u>Y/N</u> PFNA? <u>Y/N</u> APPROVAL/DENIAL BY: _____	APP. NUMBER: <u>WS-20-0080</u> TAB/CAC: <u>ENTERPRISE</u> TAB/CAC MTG DATE: <u>2/26</u> TIME: <u>6PM</u> PC MEETING DATE: <u>3/17/20</u> BCC MEETING DATE: _____ ZONE / AE / RNP: <u>C2</u> PLANNED LAND USE: <u>CG</u> NOTIFICATION RADIUS: <u>500</u> SIGN? <u>Y/N</u> LETTER DUE DATE: _____ COMMENCE/COMPLETE: _____
PROPERTY OWNER	NAME: <u>Gulzar Singh Kular</u> ADDRESS: <u>955 Temple View Drive</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89110</u> TELEPHONE: <u>(702) 306-7872</u> CELL: _____ E-MAIL: <u>kularg91@gmail.com</u>	
APPLICANT	NAME: <u>Gulzar Singh Kular</u> ADDRESS: <u>955 Temple View Drive</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89110</u> TELEPHONE: <u>(702) 306-7872</u> CELL: _____ E-MAIL: <u>kularg91@gmail.com</u> REF CONTACT ID #: <u>199690</u>	
CORRESPONDENT	NAME: <u>John Vornsand, AICP</u> ADDRESS: <u>62 Swan Circle</u> CITY: <u>Henderson</u> STATE: <u>NV</u> ZIP: <u>89074</u> TELEPHONE: <u>(702) 896-2932</u> CELL: _____ E-MAIL: _____ REF CONTACT ID #: <u>165449</u>	

ASSESSOR'S PARCEL NUMBER(S): 176-23-201-016 & 017

PROPERTY ADDRESS and/or CROSS STREETS: NEC Blue Diamond/Rainbow

PROJECT DESCRIPTION: Convenience Store, Gasoline Station, Vehicle Wash, Retail Store, Smog Check

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

Gulzar K
 Property Owner (Signature)*

STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON January 13th, 2020 (DATE)

By Gulzar Singh Kular

NOTARY PUBLIC: _____

GULZAR S. KULAR
 Property Owner (Print)



JOHN VORNSAND, AICP

Planning & Zoning Entitlements

62 SWAN CIRCLE

HENDERSON, NEVADA 89074

Phone (702) 896-2932

Email: landuseplanning@embarqmail.com

WS-20-0080

January 16, 2020

RE: Justification Letter - NEC Blue Diamond/Rainbow

A Design Review and Waiver of Development Standards is requested for a 5,210 square foot convenience market, gasoline station, vehicle wash, 2,500 square foot restaurant/retail with drive-thru and smog check kiosk in a C-2.(General Commercial) Zone The adjacent property to the North is zoned C-2 and approved for a retail store presently under construction To the East is vacant property zoned H-2 and designated as Commercial General on the Enterprise Land Use Guide.

The convenience market and restaurant buildings are at a height of 24' to the top of the decorative parapet. The vehicle wash is located on the North side of the property at a height of 20'. A smog check kiosk is located at the Southwestern portion of the site. All buildings are painted stucco construction. Landscaping is provided on both frontages per Title 30 requirements. The sidewalk on Blue Diamond Road is existing and attached and a detached sidewalk is proposed on Rainbow Boulevard. Parking is in excess of Title 30 requirements and bicycle parking is also provided.

A Waiver of Development Standards is requested for modified driveway geometrics. The driveway on Rainbow Boulevard has a throat depth of 8'6" where 25' is required and the driveway on Blue Diamond Road has a throat depth of 16'6" where 25' is required. Also, to reduce the departure separation for the driveway on Rainbow Boulevard from Blue Diamond Road to 162'6" where 190 feet is required. A 190 foot separation would place the driveway at the extreme Northern end of the property in a location where the minimum driveway widths could not then be accommodated.

SINCERELY


John Vornsand, AICP

03/18/20 BCC AGENDA SHEET

ROBINDALE JONES
(TITLE 30)

JONES BLVD/ROBINDALE RD

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST
TM-20-500025-L H VENTURES, LLC:

TENTATIVE MAP consisting of 33 lots on 5.0 acres in an R-2 (Medium Density Residential) Zone.

Generally located on the west side of Jones Boulevard and the north side of Robindale Road within Enterprise (description on file). MN/lm/jd (For possible action)

RELATED INFORMATION:

APN:
176-11-601-018

LAND USE PLAN:
ENTERPRISE - RESIDENTIAL SUBURBAN (UP TO 8 DU/AC)

BACKGROUND:

Project Description

General Summary

- Site Acreage: 5
- Number of Lots: 33
- Density (du/ac): 6.6
- Minimum/Maximum Lot Size (square feet)/3,308 (net)/5,009 (net)
- Project Type: Single family residential development

Site Plans

The plans depict a single family residential development consisting of 33 residential lots on 5 acres at a density of 6.6 dwelling units per acre. The subdivision accesses Robindale Road with a 42 foot wide private street going north to south with 3 stub streets extending east from the proposed north/south street. The southerly stub street (Barcola Court) is off-set from Robindale Road by 95 feet.

Landscaping

Street landscaping consists of a 10 foot wide landscape area which includes an attached sidewalk along Robindale Road and Jones Boulevard. In addition, the east side of the entrance will be landscaped. Internal to the site landscaping is shown on the east side of the spine street and on 1 side of the northerly stub street on the west end.

Prior Land Use Requests

Application Number	Request	Action	Date
UC-0643-04	Convenience store with design review for a shopping center and waiver of condition of ZC-0956-03 requiring redesign of the retail building - expired	Approved by BCC	July 2004
ZC-0956-03	Reclassified 5 acres to C-2 zoning for a shopping center & convenience store - expired	Approved by BCC	September 2003

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Residential Suburban (up to 8 du/ac)	R-3	Single family residential
South & East	Residential High (up to 18 du/ac)	R-3	Multi-family residential
West	Residential Suburban (up to 8 du/ac)	R-2	Single family residential

The immediate area is within the Public Facilities Needs Assessment (PFNA) area.

Related Applications

Application Number	Request
ZC-20-0085	A zone change to reclassify 5 acres to R-2 zoning with various waivers of development standards and design review of a single family residential subdivision is a companion item on this agenda.
VS-20-0086	A vacation and abandonment of easements is a companion item on this agenda.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Current Planning

This request meets the tentative map requirements as outlined in Title 30. Approval is contingent on approval of waivers of development standards related to ZC-20-0085. Since, staff is not supporting those waivers, staff cannot support this request.

Staff Recommendation

Denial.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

If approved:

- Enter into a standard development agreement prior to any permits or subdivision mapping in order to provide fair-share contribution toward public infrastructure necessary to provide service because of the lack of necessary public services in the area.
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that a final map for all, or a portion, of the property included under this application must be recorded within 4 years or it will expire.

Public Works - Development Review

- Drainage study and compliance;
- Traffic study and compliance;
- Full off-site improvements;
- Right-of-way dedication to include 50 feet for Jones Boulevard, 40 feet for Robindale Road, and associated spandrel.
- Applicant is advised that Lot 1 may not meet the minimum standard for the separation from the BCR to the driveway.

Current Planning Division - Addressing

- Approved street name list from the Combined Fire Communications Center shall be provided;
- Whitmire Court does not meet the definition of a cul-de-sac, and therefore, shall have an approved suffix.

Building Department - Fire Prevention

- No comment.

Clark County Water Reclamation District (CCWRD)

- Applicant is advised that a Point of Connection (POC) request has been completed for this project; to email sewerlocation@cleanwaterteam.com and reference POC Tracking #0064-2020 to obtain your POC exhibit; and that flow contributions exceeding CCWRD estimates may require another POC analysis.

TAB/CAC:

APPROVALS:

PROTESTS:

APPLICANT: AMERICAN WEST DEVELOPMENT

CONTACT: WESTWOOD PROFESSIONAL SERVICES, 5740 S. ARVILLE STREET,
SUITE 216, LAS VEGAS, NV 89118



TENTATIVE MAP APPLICATION 6A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SUBMITTAL REQUIREMENTS ARE LISTED ON BACK

APPLICATION TYPE <input checked="" type="checkbox"/> TENTATIVE MAP (TM)	STAFF	DATE FILED: <u>1/13/20</u> PLANNER ASSIGNED: <u>JCT</u> ACCEPTED BY: <u>JCT</u> FEE: <u>\$750</u> CHECK #: <u>100605</u> COMMISSIONER: <u>MN</u> OVERLAY(S)? <u> </u> TRAILS? <u>Y/N</u> PFNA? <u>Y/N</u>	APP. NUMBER: <u>TM-20-500025</u> TAB/CAC: <u>ENTERPRISE</u> TAB/CAC MTG DATE: <u>2/26</u> TIME: <u>6pm</u> PC MEETING DATE: <u> </u> BCC MEETING DATE: <u>3/17/20</u> <u>9am</u> ZONE / AE / RNP: <u>R-E</u> PLANNED LAND USE: <u>ENTRS</u> NOTES: <u> </u>
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PROPERTY OWNER	NAME: <u>LH Ventures, LLC</u> ADDRESS: <u>250 Pilot Road</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89119</u> TELEPHONE: <u>702 736-6434</u> CELL: <u> </u> E-MAIL: <u>kendra.saffle@pultegroup.com</u>
----------------	---

APPLICANT	NAME: <u>American West Development Inc</u> ADDRESS: <u>250 Pilot Road</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89119</u> TELEPHONE: <u>702 736-6434</u> CELL: <u> </u> E-MAIL: <u>kendra.saffle@pultegroup.com</u> REF CONTACT ID #: <u> </u>
-----------	--

CORRESPONDENT	NAME: <u>WEstwood Professional Services</u> ADDRESS: <u>5740 S Arville Street, Suite 216</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89118</u> TELEPHONE: <u>702 284-5300</u> CELL: <u> </u> E-MAIL: <u>lvproc@westwoodps.com</u> REF CONTACT ID #: <u>188046</u>
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ASSESSOR'S PARCEL NUMBER(S): 176-11-601-018

PROPERTY ADDRESS and/or CROSS STREETS: Robindale & Jones

TENTATIVE MAP NAME: Robindale Jones

NUMBER OF LOTS: 53 Res/50 GROSS/NET ACREAGE 5 GROSS/NET DENSITY 6.6 DU/AC

I, (We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

Property Owner (Signature)* <u>[Signature]</u> STATE OF <u>Nevada</u> COUNTY OF <u>Clark</u> SUBSCRIBED AND SWORN BEFORE ME ON <u>1/13/2020</u> (DATE) By <u>Jeffrey L. Canarelli</u> NOTARY PUBLIC <u>[Signature]</u>	Property Owner (Print) <u>Jeffrey L. Canarelli</u> <div style="border: 1px solid black; padding: 5px; width: fit-content; margin-left: auto;"> KENDRA D. SAFFLE Notary Public, State of Nevada No. 95-1388-1 My Appt. Exp. Sep. 21, 2021 </div>
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*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.

Westwood

5740 S. Arville St., Suite 216
Las Vegas, NV 89118

Main (702) 284-5300

westwoodps.com
(888) 937-5150

TJY-20-80 0025

AWD1908

January 21, 2020

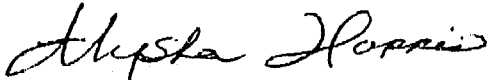
Clark County Comprehensive Planning
500 South Grand Central Parkway
Las Vegas, NV 89155-4000

SUBJECT: Tentative Map for Robindale Jones

To Whom It May Concern:

On behalf of our client American West Development we respectfully request the Tentative Map to be heard at the Board of County Commissioners meeting concurrently with the Zone Change, Waiver of Development Standards, and Vacation. It is our understanding per Nevada Revised Statutes that Tentative Maps are required to have Commission actions within 45 days. However, American West Development, would like the applications to go concurrent since they are companion items on the same site.

Thank you,
Westwood Professional Services



Alysha Harris
Project Coordinator II

03/18/20 BCC AGENDA SHEET

EASEMENTS
(TITLE 30)

SUNSET RD/LINDELL RD

PUBLIC HEARING
APP. NUMBER/OWNER/DESCRIPTION OF REQUEST
VS-20-0069-SUNSET VIEW, LLC:

VACATE AND ABANDON easements of interest to Clark County located between Sunset Road and Rafael Rivera Way, and between Lindell Road and Westwind Road within Enterprise (description on file). MN/lm/ja (For possible action)

RELATED INFORMATION:

APN:

176-01-102-003; 176-01-102-004; 176-01-102-006; 176-01-102-007; 176-01-102-010

LAND USE PLAN:

ENTERPRISE - BUSINESS AND DESIGN/RESEARCH PARK

BACKGROUND:

Project Description

The plans depict the vacation and abandonment of 33 foot wide and 3 foot wide government patent easements around the boundary of each parcel. Additionally, there is a drainage easement along the north and south property lines and along the northerly portion of the west property line of APN 176-01-102-010, and a pedestrian access easement along the northerly and southerly portion of the east property line of the same parcel. The applicant indicates that the vacation of the easements is needed to allow the current proposed distribution center development.

Prior Land Use Requests

Application Number	Request	Action	Date
WS-0800-15	Waiver of Conditions of ZC-0231-08 and design review of an office warehouse building - expired	Approved by BCC	April 2016
ZC-0231-08	Reclassified 2.5 acres from R-E to M-D zoning with waivers for shared cross access easement with the adjacent lot for an office warehouse industrial building	Approved by BCC	April 2008
UC-1568-96	Constructed and built a 230/138kV power transmission line	Approved by BCC	November 1996

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Office Professional	R-E	Undeveloped
South	Business and Design/Research Park	M-D	Office warehouse & undeveloped
East	Business and Design/Research Park	M-D	Distribution center
West	Business and Design/Research Park	M-D & R-E	Office warehouse & undeveloped

Related Applications

Application Number	Request
ZC-20-0068	A zone change to reclassify 12 acres to M-D Zone and allow modified driveway design standards for a proposed distribution center is a companion item on this agenda.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Public Works - Development Review

Staff has no objection to the vacation of easements that are not necessary for site, drainage, or roadway development.

Staff Recommendation Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

- Satisfy utility companies' requirements.
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that the recording of the order of vacation in the Office of the County Recorder must be completed within 2 years of the approval date or the application will expire.

Public Works - Development Review

- Right-of-way dedication to include 30 feet for Westwind Road, 55 feet to the back of curb for Sunset Road, 35 feet to the back of curb for Lindell Road, and associated spandrels;
- Vacation to be recordable prior to building permit issuance or applicable map submittal;
- Revise legal description, if necessary, prior to recording.
- Applicant is advised that the installation of detached sidewalks will require dedication to back of curb and granting necessary easements for utilities, pedestrian access, streetlights, and traffic control.

Building Department - Fire Prevention

- No comment.

Clark County Water Reclamation District (CCWRD)

- No objection.

**TAB/CAC:
APPROVALS:
PROTESTS:**

**APPLICANT: JULIET COMPANIES
CONTACT: RIETZ CONSULTING, 3203 E. WARM SPRINGS RD., #400, LAS VEGAS,
NV 89120**

DRAFT





VACATION APPLICATION 7A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SUBMITTAL REQUIREMENTS ARE LISTED ON BACK

APPLICATION TYPE	STAFF	DATE FILED: <u>1/28/20</u>	APP. NUMBER: <u>VS-20-0069</u>
<input checked="" type="checkbox"/> VACATION & ABANDONMENT (VS) <input checked="" type="checkbox"/> EASEMENT(S) <input type="checkbox"/> RIGHT(S)-OF-WAY <input type="checkbox"/> EXTENSION OF TIME (ET) (ORIGINAL APPLICATION #): _____		PLANNER ASSIGNED: <u>JCT</u>	TAB/CAC <u>E-REPRISE</u>
		ACCEPTED BY: <u>JCT</u>	TAB/CAC DATE: <u>2/26</u> TIME: <u>6pm</u>
		FEE: <u>875⁰⁰</u> CHECK #: _____	PC MEETING DATE: <u>—</u>
		COMMISSIONER: <u>MN</u>	BCC MTG DATE: <u>3/18/20</u> <u>9am</u>
		OVERLAY(S)? <u>CMA</u>	ZONE / AE / RNP: <u>R-E (AE-60)</u>
		TRAILS? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	PFNA? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N
		PLANNED LAND USE: <u>EXTDREP</u>	

PROPERTY OWNER	NAME: <u>SUNSET VIEW, LLC</u>
	ADDRESS: <u>7452 GRASSY FIELD COURT</u>
	CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89131</u>
	TELEPHONE: _____ CELL: _____
	E-MAIL: _____

APPLICANT	NAME: <u>JULIET COMPANIES, LLC</u>
	ADDRESS: <u>8375 W. FLAMINGO ROAD, SUITE 200</u>
	CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89147</u>
	TELEPHONE: <u>702.368.5800</u> CELL: _____
	E-MAIL: <u>john @ julietlasvegas.com</u> REF CONTACT ID #: _____

CORRESPONDENT	NAME: <u>RIETZ CONSULTING, INC.</u>
	ADDRESS: <u>3203 E. WARM SPRINGS ROAD #400</u>
	CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89120</u>
	TELEPHONE: <u>702.521.3355</u> CELL: <u>NA</u>
	E-MAIL: <u>eric.rietz@rietzconsulting.com</u> REF CONTACT ID #: <u>136579</u>

ASSESSOR'S PARCEL NUMBER(S): 176-01-102-003 & 004

PROPERTY ADDRESS and/or CROSS STREETS: SUNSET ROAD / LINDELL ROAD

I, (We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted.

[Signature]

Property Owner (Signature)*

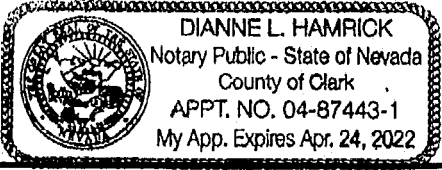
DHAVAL SHAH

Property Owner (Print)

STATE OF NEVADA
 COUNTY OF CLARK

SUBSCRIBED AND SWORN BEFORE ME ON 01/23/2020 (DATE)
 By DHAVAL SHAH

NOTARY PUBLIC: [Signature]



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



VACATION APPLICATION

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SUBMITTAL REQUIREMENTS ARE LISTED ON BACK

APPLICATION TYPE <input type="checkbox"/> VACATION & ABANDONMENT (VS) <input type="checkbox"/> EASEMENT(S) <input type="checkbox"/> RIGHT(S)-OF-WAY <input type="checkbox"/> EXTENSION OF TIME (ET) (ORIGINAL APPLICATION #): _____	STAFF	DATE FILED: _____ PLANNER ASSIGNED: _____ ACCEPTED BY: _____ FEE: _____ CHECK #: _____ COMMISSIONER: _____ OVERLAY(S)? _____ TRAILS? Y/N _____ PFNA? Y/N _____	APP. NUMBER: <u>VS-20-0069</u> TAB/CAC _____ TAB/CAC DATE: _____ TIME: _____ PC MEETING DATE: _____ BCC MTG DATE: _____ ZONE / AE / RNP: _____ PLANNED LAND USE: _____
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PROPERTY OWNER	NAME: <u>JOHN CUVA</u> ADDRESS: <u>8737 ISOLA DRIVE</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89117</u> TELEPHONE: _____ CELL: _____ E-MAIL: <u>ORENRELV@GMAIL.COM</u>
----------------	--

APPLICANT	NAME: <u>JULIET COMPANIES, LLC</u> ADDRESS: <u>8375 W. FLAMINGO ROAD, SUITE 200</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89147</u> TELEPHONE: <u>702.368.5800</u> CELL: _____ E-MAIL: <u>john @ julietlasvegas.com</u> REF CONTACT ID #: _____
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CORRESPONDENT	NAME: <u>RIETZ CONSULTING, INC.</u> ADDRESS: <u>3203 E. WARM SPRINGS ROAD #400</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89120</u> TELEPHONE: <u>702.521.3355</u> CELL: <u>NA</u> E-MAIL: <u>eric.rietz@rietzconsulting.com</u> REF CONTACT ID #: <u>136579</u>
---------------	---

ASSESSOR'S PARCEL NUMBER(S): 176-01-102-006

PROPERTY ADDRESS and/or CROSS STREETS: SUNSET ROAD / LINDELL ROAD

I, (We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted.

 Property Owner (Signature)*
 STATE OF NEVADA _____
 COUNTY OF Clark
 SUBSCRIBED AND SWORN BEFORE ME ON Jan 22, 2020 (DATE)
 By John A. Cova
 NOTARY PUBLIC: Robert S. [Signature]

 Property Owner (Print)

 ROBERT SANDRO VERAS
 Notary Public, State of Nevada
 Appointment No. 02-102904-1
 My Appt. Expires December 15, 2021

*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



VACATION APPLICATION

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SUBMITTAL REQUIREMENTS ARE LISTED ON BACK

APPLICATION TYPE	STAFF	DATE FILED: _____	APP. NUMBER: <u>VS-20-0069</u>
<input type="checkbox"/> VACATION & ABANDONMENT (VS) <input type="checkbox"/> EASEMENT(S) <input type="checkbox"/> RIGHT(S)-OF-WAY <input type="checkbox"/> EXTENSION OF TIME (ET) (ORIGINAL APPLICATION #): _____		PLANNER ASSIGNED: _____	TAB/CAC _____
		ACCEPTED BY: _____	TAB/CAC DATE: _____ TIME: _____
		FEE: _____ CHECK #: _____	PC MEETING DATE: _____
		COMMISSIONER: _____	BCC MTG DATE: _____
		OVERLAY(S)? _____	ZONE / AE / RNP: _____
		TRAILS? Y/N _____ PFNA? Y/N _____	PLANNED LAND USE: _____

PROPERTY OWNER	NAME: <u>JTS TRUST AND ROBERT T. MENDENHALL & VYONNE S MENDENHALL FAMILY TR</u> ADDRESS: <u>8240 HICKMAN AVENUE</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89129</u> TELEPHONE: <u>702.251.5800</u> CELL: _____ E-MAIL: <u>Jay.Smith@lasvegaspaving.com</u>
-----------------------	--

APPLICANT	NAME: <u>JULIET COMPANIES, LLC</u> ADDRESS: <u>8375 W. FLAMINGO ROAD, SUITE 200</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89147</u> TELEPHONE: <u>702.368.5800</u> CELL: _____ E-MAIL: <u>john@julietlasvegas.com</u> REF CONTACT ID #: _____
------------------	---

CORRESPONDENT	NAME: <u>RIETZ CONSULTING, INC.</u> ADDRESS: <u>3203 E. WARM SPRINGS ROAD #400</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89120</u> TELEPHONE: <u>702.521.3355</u> CELL: <u>NA</u> E-MAIL: <u>eric.rietz@rietzconsulting.com</u> REF CONTACT ID #: <u>136579</u>
----------------------	---

ASSESSOR'S PARCEL NUMBER(S): 176-01-102-007

PROPERTY ADDRESS and/or CROSS STREETS: SUNSET ROAD / LINDELL ROAD

I, (We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted.

 <u>Jay N Smith</u> Property Owner (Signature)*	 <u>Yvonne S Mendenhall</u> Property Owner (Print)
---	--

STATE OF NEVADA Clark
 COUNTY OF _____

SUBSCRIBED AND SWORN BEFORE ME, ON 1/24/20 (DATE)
 By Jay N Smith and Yvonne S Mendenhall
 NOTARY PUBLIC: Kim Lovelady

NOTARY PUBLIC
 STATE OF NEVADA
 County of Clark
 KIM LOVELADY
 Appt. No. 06-105290-1
 My Appt. Expires May 10, 2022

*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



VACATION APPLICATION

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SUBMITTAL REQUIREMENTS ARE LISTED ON BACK

APPLICATION TYPE	STAFF	DATE FILED: _____	APP. NUMBER: <u>VS-20-0069</u>
<input type="checkbox"/> VACATION & ABANDONMENT (VS) <input type="checkbox"/> EASEMENT(S) <input type="checkbox"/> RIGHT(S)-OF-WAY <input type="checkbox"/> EXTENSION OF TIME (ET) (ORIGINAL APPLICATION #): _____		PLANNER ASSIGNED: _____	TAB/CAC _____
		ACCEPTED BY: _____	TAB/CAC DATE: _____ TIME: _____
		FEE: _____ CHECK #: _____	PC MEETING DATE: _____
		COMMISSIONER: _____	BCC MTG DATE: _____
		OVERLAY(S)? _____	ZONE / AE / RNP: _____
		TRAILS? Y/N _____ PFNA? Y/N _____	PLANNED LAND USE: _____

PROPERTY OWNER	NAME: <u>SDVQ, LLC</u>
	ADDRESS: <u>4555 PROCYON STREET</u>
	CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89103</u>
	TELEPHONE: _____ CELL: _____
	E-MAIL: _____

APPLICANT	NAME: <u>JULIET COMPANIES, LLC</u>
	ADDRESS: <u>8375 W. FLAMINGO ROAD, SUITE 200</u>
	CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89147</u>
	TELEPHONE: <u>702.368.5800</u> CELL: _____
	E-MAIL: <u>john @ julietlasvegas.com</u> REF CONTACT ID #: _____

CORRESPONDENT	NAME: <u>RIETZ CONSULTING, INC.</u>
	ADDRESS: <u>8375 W. FLAMINGO ROAD #200</u>
	CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89120</u>
	TELEPHONE: <u>702.521.3355</u> CELL: <u>NA</u>
	E-MAIL: <u>eric.rietz@rietzconsulting.com</u> REF CONTACT ID #: <u>136579</u>

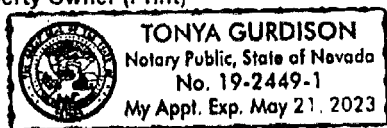
ASSESSOR'S PARCEL NUMBER(S): 176-01-102-010

PROPERTY ADDRESS and/or CROSS STREETS: SUNSET ROAD / LINDELL ROAD

I, (We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted

[Signature]
 Property Owner (Signature)*
 STATE OF NEVADA
 COUNTY OF CLARK
 SUBSCRIBED AND SWORN BEFORE ME ON January 22, 2020 (DATE)
 By Stephen Keane
 NOTARY PUBLIC: [Signature]

Steve Keane
 Property Owner (Print)



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



January 20, 2020

Clark County
Comprehensive Planning Department
500 S. Grand Central Parkway
Las Vegas, NV 89106

RE: Project Description and Justification Letter for proposed distribution center located at the SWC of Sunset Road and Lindell Road to be known as the Sunset Logistics Center

Dear Mr. Tasko:

Thank you in advance for your review and consideration of our proposed distribution center project located at the SWC of Sunset Road and Lindell Road (the "Project") to be known as the Sunset Logistics Center. We are pleased to submit this Justification Letter in support of the Project.

We are proposing to develop one (1) distribution center building totaling approximately 249,600 sf on approximately 14.2 gross acres, bearing APN's 176-01-102-003, -004, -006, -007, -010, & -017 located in Clark County, Nevada (the "Property"). Prospective tenants and their uses will be those that conform to the requirements of the Designed Manufacturing zoning designation.

The intent of this Application is to request a Conforming Zone Change, Design Review and two (2) Waivers of Development Standards for the Project, as well as an accompanying Vacation application for the vacation of patent easements and other existing easements not applicable to the proposed project. Accordingly, we have included the proposed site plan, floor plan, elevations, landscape plan, and other required materials for your review and consideration.

Regarding the Conforming Zone Change, the Property is currently zoned Rural Estates (R-E), and Designed Manufacturing (M-D). The Property has a master planned land use designation of Business and Design Research Park.

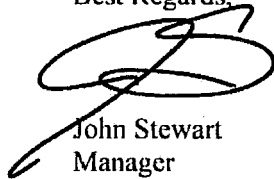
Regarding the Design Review request, you will note that the proposed plans and elevations are consistent the objectives of Title 30 and the Comprehensive Plan. Please note that the parking count provided exceeds that required by code. Additionally, you will note that number of landscaping shrubs and trees meet code requirements and have been located to provide the most positive impact to the visibility of the Project and for the overall beautification and balance of the Project.

Regarding the Waiver of Development Standards, we respectfully the following:

1. Allow fill (grading) of up to five 5 feet on the Property in low spots on the interior of the Property. The proposed fill of up to 5 feet will not negatively impact the surrounding area. Along the perimeter along Westwind Road, Sunset Road, and Lindell Road, the proposed project matches existing grades. Along the southern property line, the proposed project will have less that eighteen inches (18") of fill, which meets code requirements.
2. Allow for throat depth waivers at drive entrances to the center due to vehicular parking being located along the perimeter of the project. Mitigating factors for such include removal of parking spaces at drive entrances to allow for longer drive aisles into the project without competing traffic movements.

Thank you in advance for your time and consideration, and we look forward to addressing any additional questions or comments.

Best Regards,



John Stewart
Manager

EASEMENTS
(TITLE 30)

JONES BLVD/ROBINDALE RD

PUBLIC HEARING
APP. NUMBER/OWNER/DESCRIPTION OF REQUEST
VS-20-0086-L H VENTURES, LLC:

VACATE AND ABANDON easements of interest to Clark County located between Jones Boulevard and Rustic Galleon Street, and between Robindale Road and Walker Valley Court (alignment) within Enterprise (description on file). MN/lm/jd (For possible action)

RELATED INFORMATION:

APN:
176-11-601-018

LAND USE PLAN:
ENTERPRISE - RESIDENTIAL SUBURBAN (UP TO 8 DU/AC)

BACKGROUND:

Project Description

The plans depict the vacation and abandonment of 33 foot wide government patent easements on the west and north sides of the parcel. The applicant indicates the easements are no longer necessary for access to the proposed development.

Prior Land Use Requests

Application Number	Request	Action	Date
UC-0643-04	Convenience store with design review for a shopping center and waiver of condition of ZC-0956-03 requiring redesign of the retail building - expired	Approved by BCC	July 2004
ZC-0956-03	Reclassified 5 acres to C-2 zoning for a shopping center & convenience store - expired	Approved by BCC	September 2003

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Residential Suburban (up to 8 du/ac)	R-3	Single family residential
South & East	Residential High (up to 18 du/ac)	R-3	Multi-family residential
West	Residential Suburban (up to 8 du/ac)	R-2	Single family residential

The immediate area is within the Public Facilities Needs Assessment (PFNA) area.

Related Applications

Application Number	Request
ZC-20-0085	A zone change to reclassify 5 acres to R-2 zoning with various waivers of development standards and design review of a single family residential subdivision is a companion item on this agenda.
TM-20-500025	A tentative map for a 33 lot single family residential development is a companion item on this agenda.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Public Works - Development Review

Staff has no objection to the vacation of easements that are not necessary for site, drainage, or roadway development.

Staff Recommendation

Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

- Satisfy utility companies' requirements.
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that the recording of the order of vacation in the Office of the County Recorder must be completed within 2 years of the approval date or the application will expire.

Public Works - Development Review

- Right-of-way dedication to include 50 feet for Jones Boulevard, 40 feet for Robindale Road, and associated spandrel;
- Vacation to be recordable prior to building permit issuance or applicable map submittal;
- Revise legal description, if necessary, prior to recording.

Building Department - Fire Prevention

- No comment.

Clark County Water Reclamation District (CCWRD)

- No objection.

TAB/CAC:

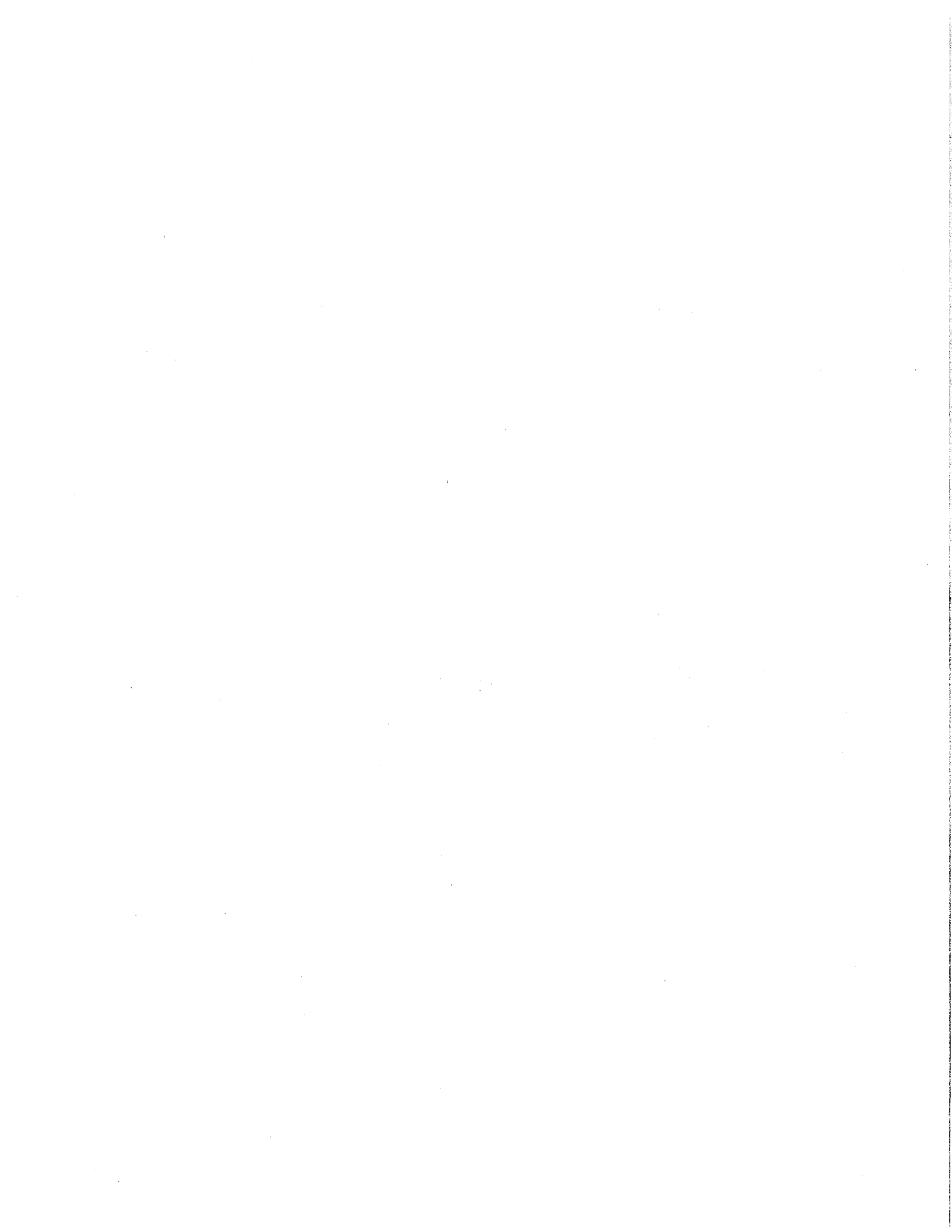
APPROVALS:

PROTESTS:

APPLICANT: AMERICAN WEST DEVELOPMENT

CONTACT: WESTWOOD PROFESSIONAL SERVICES, 5740 S. ARVILLE STREET,
SUITE 216, LAS VEGAS, NV 89118

DRAFT





VACATION APPLICATION 8A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SUBMITTAL REQUIREMENTS ARE LISTED ON BACK

APPLICATION TYPE	STAFF	DATE FILED: <u>1/30/20</u>	APP. NUMBER: <u>VS-20-0086</u>
<input checked="" type="checkbox"/> VACATION & ABANDONMENT (VS)		PLANNER ASSIGNED: <u>JCT</u>	TAB/CAC: <u>ENTERPRISE</u>
<input checked="" type="checkbox"/> EASEMENT(S)	ACCEPTED BY: <u>JCT</u>	TAB/CAC DATE: <u>2/26</u> TIME: <u>6pm</u>	PC MEETING DATE: <u> </u>
<input type="checkbox"/> RIGHT(S)-OF-WAY	FEE: <u>875</u> CHECK #: <u>100604</u>	BCC MTG DATE: <u>3/18/20</u> <u>9AM</u>	ZONE / AE / RNP: <u>RE</u>
<input type="checkbox"/> EXTENSION OF TIME (ET) (ORIGINAL APPLICATION #):	COMMISSIONER: <u>MN</u>	PLANNED LAND USE: <u>ENTRS</u>	
	OVERLAY(S)? <u> </u>		
	TRAILS? <input checked="" type="checkbox"/> PFNA? <input checked="" type="checkbox"/>		

PROPERTY OWNER	NAME: <u>LH Ventures, LLC</u>
	ADDRESS: <u>250 Pilot Road</u>
	CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89119</u>
	TELEPHONE: <u>702 736-6434</u> CELL: <u> </u>
	E-MAIL: <u>kendra.saffle@pultegroup.com</u>

APPLICANT	NAME: <u>American West Development Inc</u>
	ADDRESS: <u>250 Pilot Road</u>
	CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89119</u>
	TELEPHONE: <u>702 736-6434</u> CELL: <u> </u>
	E-MAIL: <u>kendra.saffle@pultegroup.com</u> REF CONTACT ID #: <u> </u>

CORRESPONDENT	NAME: <u>Westwood Professional Services</u>
	ADDRESS: <u>5740 S Arville Street, Suite 216</u>
	CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89118</u>
	TELEPHONE: <u>702 284-5300</u> CELL: <u> </u>
	E-MAIL: <u>lvproc@westwoodps.com</u> REF CONTACT ID #: <u> </u>

ASSESSOR'S PARCEL NUMBER(S): 176-11-601-018

PROPERTY ADDRESS and/or CROSS STREETS: Robindale & Jones

I, (We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted.

[Signature]
Property Owner (Signature)*

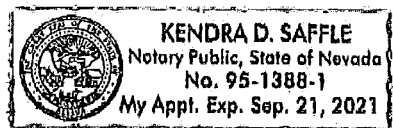
Jeffrey L. Canarelli
Property Owner (Print)

STATE OF NEVADA
COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME, ON 1/13/2020 (DATE)

By Jeffrey L. Canarelli

NOTARY PUBLIC: [Signature]



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.

Westwood

5770 S. Arville St., Suite 200
Las Vegas, NV 89116

Phone: (702) 284-5300

Westwood Home
(800) 332-5300

17 January 2020

Current Planning Division
500 South Grand Central Parkway
Las Vegas, NV 89155-4000

**Re: Robindale Jones - Justification Letter for Patent Easement Vacation
Westwood Project No. AWD1908-000**

To Whom It May Concern,

Westwood Professional Services, on behalf of our client, American West Development, respectfully submits this justification letter with an application for Vacation and Abandonment of Patent Easements.

The project site associated with the subject is approximately 5.0 gross acres and covers APN 176-11-601-018. It is located in a portion of Section 11, Township 22 South, Range 60 East, M.D.M., Clark County, Nevada. This proposed community will be a single-family subdivision with 33 lots with a gross density of 6.6 dwelling units per acre.

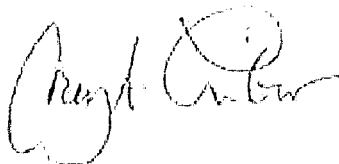
This application is requesting to vacate patent easements along the north and west property boundary that are in conflict with the proposed site plan for the subject residential development. These easements, as illustrated in the attached vacation exhibit, were granted in support of the individual parcels but are no longer required for the proposed development. This request will be in compliance with the conditions of the Tentative Map submitted for Robindale Jones accompanying this application.

Thank you for the opportunity to submit this application for your review. Please contact me at (702) 284-5300 if you have any questions regarding this application.

Please contact me if you have any questions.

Sincerely,

WESTWOOD PROFESSIONAL SERVICES



Corey Lieber, PE #15875, Project Manager

Cc: Kendra Saffle, American West Development;
Chelsea Jensen, Westwood Professional Services

03/18/20 BCC AGENDA SHEET

VEHICLE SALES FACILITY
(TITLE 30)

TORREY PINES DR/ROY HORN WY

PUBLIC HEARING
APP. NUMBER/OWNER/DESCRIPTION OF REQUEST
WC-20-400014 (ZC-0606-01) -JONES 215, LLC:

WAIVER OF CONDITIONS of a zone change requiring recording a reciprocal, perpetual cross access, ingress/egress, and parking agreements if dealerships are individually owned and operated in conjunction with a previously approved zone change to reclassify 24.7 acres from R-E (Rural Estates Residential) (AE-65) Zone to C-2 (General Commercial) (AE-65) Zone for 2 automobile dealerships, future, and associated accessory service uses, and a use permit for automobile paint and body shops in the CMA Design Overlay District.

Generally located between Maule Avenue and CC 215, the east and west sides of Torrey Pines Drive and approximately 350 feet west of El Camino Road within Enterprise. MN/md/ja (For possible action)

RELATED INFORMATION:

APN:
176-02-201-021; 176-02-601-031; 176-02-601-022

LAND USE PLAN:
ENTERPRISE - BUSINESS AND DESIGN/RESEARCH PARK

BACKGROUND:

Project Description

General Summary

- Site Address: 6425 Roy Horn Way
- Site Acreage: 4 (project site)/24.7 (original zone change)
- Current project Type: Vehicle sales (automobile) facility with ancillary uses (service facility and vehicle wash)
- Number of Stories: 2
- Building Height (feet): Up to 28
- Square Feet: 23,249 (vehicle sales facility)/1,149 (vehicle wash building)/200 (battery storage building)/1,280 (covered detail area)
- Parking Required/Provided: 55/190
- Separate vehicle display spaces: 147

Site History

ZC-0606-01 was previously approved by the Board of County Commissioners in June 2001 for 2 vehicle sales facilities located on the east and west sides of Torrey Pines Drive. The larger site was located on the east side of Torrey Pines Drive and consisted of 17.3 acres while the smaller site was located on the west side of Torrey Pines Drive that consisted of 7.4 acres. The current project site is located on a portion of the original site approval, necessitating the waiver of conditions request.

Site Plans

The current plans depict a vehicle sales facility with ancillary uses, including the outside display of automobiles. The building will be centrally located within the site and set back as follows: 1) 175 feet from Roy Horn Way; 2) 650 feet from Torrey Pines Drive; 3) 420 feet from Maule Avenue; and 4) 111 feet from the east property line. An accessory vehicle wash (automobile) building, battery storage building, canopy covered detailed area, and trash enclosure area are located within the rear portion of the project site, with a separation of 34 feet from the vehicle sales facility. The accessory vehicle wash (automobile) building is set back 103 feet from the east property line and 450 feet from Maule Avenue. Customer and vehicle display spaces are located to the north and east of the sales facility. Forty-four vehicle display spaces are located behind the 15 foot wide landscape area adjacent to Roy Horn Way. Employee parking, inventory and service parking spaces are located to the south (rear) of the facility, and will be enclosed by a 6 foot high decorative CMU block wall around the east, west, and south boundaries of the site. The vehicle sales facility requires 55 parking spaces where 190 parking spaces are provided. The site also consists of 147 separate vehicle spaces for display, inventory, and servicing. A 5 foot wide pedestrian walkway connects the principal entrance of the facility to the 5 foot wide detached sidewalk adjacent to Roy Horn Way. The sole means of access to the project site is granted via a proposed commercial driveway along Roy Horn Way; no access is shown from Maule Avenue to the south.

Landscaping

The current plans depict a landscape area ranging between 15 feet to 22 feet in width adjacent to Roy Horn Way, including a 5 foot wide detached sidewalk. Large, 24 inch box trees are planted 20 feet on center within the street landscape area, including shrubs and groundcover. Parking lot landscaping is equitably distributed to the north and northeast of the vehicle sales facility. A 6 foot wide landscape area is located adjacent to the northeast property line consisting of large, 24 inch box trees planted 40 feet on center. The employee, inventory, and service parking area is located behind the facility and is enclosed by a decorative CMU block wall with additional landscaping on portions of the northeast and northwest sides of the wall.

Elevations

The plans depict a vehicle sales facility with a height ranging from 22 feet to 28 feet to the top of the parapet wall. The portion of the building extending to the maximum height of 28 feet is the decorative metal rooftop screen intended to screen the mechanical equipment. The majority of the building will consist of a vertical, aluminum composite metal paneling system with both an etched and clear transparent glass curtain wall glass panel system incorporated into the design of the structure. A CMU block exterior is utilized on portions of the east, west, and south

elevations of the facility. A 3 lane service canopy is located along the west portion of the building while a 3 lane delivery canopy is located along the east portion of the facility.

The accessory vehicle (automobile) wash has an overall height of 16 feet and consists of a CMU block exterior. Entrance to the vehicle wash is granted through the south bay while exiting from the north bay. The color palette will be consistent with the corporate identity for the brand of vehicles (Volvo), but consist of subdued color tones that will be integrated throughout both buildings.

A covered detail canopy area with an overall height of 15 feet is located to the south of the vehicle wash. The covered canopy will consist of a medium grey color.

Floor Plans

The current plans depict a vehicle sales facility and showroom totaling 23,249 square feet with the following: 1) 9,910 square feet for administration and showroom; 2) 8,800 square feet for service area; and 3) 4,539 square feet for parts storage.

The accessory vehicle wash and battery storage building consist of 1,149 square feet and 200 square feet, respectively. The canopy area consists of 1,280 square feet.

Signage

Signage is not a part of this request.

Previous Conditions of Approval

Listed below are the approved conditions for ZC-0606-01:

Current Planning:

- Subject to no resolution of intent and staff preparing an ordinance to adopt the zoning;
- Recording a reciprocal, perpetual cross access, ingress/egress, and parking agreements if dealerships are individually owned and operated.
- Applicant is advised that more detailed landscape plans are required when submitting building permits.

Public Works - Development Review:

- Right-of-way dedication of 80 feet for Torrey Pines Drive, 30 feet for Maule Avenue, a third travel lane along the beltway and bus turnouts as required by Regional Transportation Commission;
- Dedicate 30 feet for Mann Street from the beltway to Pama Lane and 30 feet for Pama Lane from Mann Street to Torrey Pines Drive or apply for and have approved a vacation of Mann Street and Pama Lane;
- All vacations to be recordable prior to permits or mapping;
- Drainage and traffic studies and compliance;
- Full off-sites to include paved legal access to all entrances.

Department of Aviation:

- Filing Federal Aviation Administration (FAA) Form 7460-1, "Notice of Proposed Construction or Alteration" with the FAA, and as required by Section 30.48.120 of the

Clark County Unified Development Code, receive either a permit from the Director of Aviation or a variance from the Airport Hazard Areas Board of Adjustment (AHABA) prior to construction;

- No building permits will be released for the project prior to the Department of Aviation notifying Zoning Plan Check that the applicant has received all necessary airspace approvals;
- Applicant is advised that the FAA's determination is advisory in nature and does not guarantee the Director's permit or an AHABA variance will be approved;
- And that a standard condition of approval for a Director's permit or an AHABA variance is the granting of an aviation easement;
- And all applicable standard conditions for this application type.

Signage

Signage is not a part of this request.

Applicant's Justification

The applicant indicates the waiver of conditions request will allow the vehicle sales facility to be consistent with the other dealerships in the surrounding area. Because of the competitive nature of the car dealership business it is not normal to have cross access between dealership sites. Additionally, for security reasons it is important for car dealerships to control their vehicle inventory by limiting the ingress and egress points on the site.

Prior Land Use Requests

Application Number	Request	Action	Date
ADR-19-900634	Storage building in conjunction with an existing vehicle sales facility	Approved by ZA	October 2019
WS-18-0519	Increased height of a proposed freestanding sign and design review for a freestanding sign in conjunction with an existing vehicle sales on the western portion of the site	Approved by BCC	September 2018
VS-1073-17	Vacated and abandoned various easements on this site - recorded	Approved by PC	February 2018
ZC-0215-17	Reclassified a portion of this site to M-D zoning for a vehicle sales facility on the western portion of this site	Approved by BCC	May 2017
VS-0237-16	Vacated and abandoned right-of-way on a portion of the overall development site for a detached sidewalk - recorded	Approved by PC	June 2016
ZC-0606-01	Reclassified a portion of this site to C-2 zoning for 2 vehicle sales facilities	Approved by BCC	June 2001

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North*	Business and Design/Research Park	M-D	Office building with a production studio (LFC)
East	Business and Design/Research Park	C-2	Undeveloped
South	Business and Design/Research Park	C-2	Surface overflow parking lot
West	Business and Design/Research Park	M-D & C-2	Vehicle sales facility (Findlay Subaru)

*Directly to the north is the CC 215.

Related Applications

Application Number	Request
WS-20-0079	A waiver of development standards and design review for a vehicle sales facility is a companion item on this agenda.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Current Planning

The project site and adjacent properties are large, consisting of multiple acres; therefore, do not necessitate the shared parking and access to the properties to the east and west. Typically, staff does not support requests to waive cross access to adjacent properties with similar land uses and parking requirements. However, several requests to waive the cross access requirement have previously been approved for the existing sites to the west and northwest. The request to waive cross access should not have any impact on the surrounding land uses and properties. Therefore, staff recommends approval.

Staff Recommendation

Approval.

Approval of the waiver of conditions request constitutes a finding by the Commission/Board that the conditions will no longer fulfill its intended purpose.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Public Works - Development Review

- No comment.

Clark County Water Reclamation District (CCWRD)

- No comment.

TAB/CAC:

APPROVALS:

PROTEST:

APPLICANT: JONES 215, LLC

CONTACT: ROGER CAMPERI, 310 N. GIBSON ROAD, HENDERSON, NV 89014

DRAFT



LAND USE APPLICATION 9A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input type="checkbox"/> ZONE CHANGE <input type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (NZC) <input type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input type="checkbox"/> DESIGN REVIEW (DR) <input type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input checked="" type="checkbox"/> WAIVER OF CONDITIONS (WC) <u>ZC-0606-01</u> (OORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) _____ (OORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) _____ (OORIGINAL APPLICATION #)	STAFF	DATE FILED: <u>1/30/20</u> APP. NUMBER: <u>LC-20-400014</u> PLANNER ASSIGNED: <u>MNO</u> TAB/CAC: <u>ENTERPRISE</u> ACCEPTED BY: <u>MNO</u> TAB/CAC MTG DATE: <u>2/26/20</u> TIME: <u>6:00</u> FEE: <u>\$500</u> PC MEETING DATE: <u>-</u> CHECK #: <u>3216</u> BCC MEETING DATE: <u>3/18/20 9:00 AM</u> COMMISSIONER: <u>NAFT</u> ZONE / AE / RNP: <u>C-2/M-O/AE60/NONE</u> OVERLAY(S)? <u>CMA</u> PLANNED LAND USE: <u>ENTDORP</u> PUBLIC HEARING? <u>Y/N</u> NOTIFICATION RADIUS: <u>750'</u> SIGN? <u>Y/N</u> TRAILS? <u>Y/N</u> PFNA? <u>Y/N</u> LETTER DUE DATE: <u>-</u> APPROVAL/DENIAL BY: <u>-</u> COMMENCE/COMPLETE: <u>-</u>
	PROPERTY OWNER	NAME: <u>JONES 215 LLC</u> ADDRESS: <u>310 N. Gibson Road</u> CITY: <u>Henderson</u> STATE: <u>NV</u> ZIP: <u>89014</u> TELEPHONE: <u>(702) 558-8822</u> CELL: <u>(702) 558-8822</u> E-MAIL: <u>tcorder@findlayauto.com</u>
	APPLICANT	NAME: <u>JONES 215 LLC</u> ADDRESS: <u>310 N. Gibson Road</u> CITY: <u>Henderson</u> STATE: <u>NV</u> ZIP: <u>89014</u> TELEPHONE: <u>(702) 457-0321</u> CELL: <u>(702) 239-2725</u> E-MAIL: <u>rcamperi@findlayauto.com</u> REF CONTACT ID #: _____
	CORRESPONDENT	NAME: <u>Roger Camperi</u> ADDRESS: <u>310 N. Gibson Road</u> CITY: <u>Henderson</u> STATE: <u>NV</u> ZIP: <u>89014</u> TELEPHONE: <u>(702) 457-0321</u> CELL: <u>(702) 239-2725</u> E-MAIL: <u>rcamperi@findlayauto.com</u> REF CONTACT ID #: _____

ASSESSOR'S PARCEL NUMBER(S): 176-02-601-022 (a portion of)

PROPERTY ADDRESS and/or CROSS STREETS: A vacant parcel of land on the south side of Roy Horn Way & south of Torrey Pines.

PROJECT DESCRIPTION: Waivers of Conditions to remove the reciprocal, perpetual cross access, ingress/egress & parking agreements that were established in ZC-0606-01.

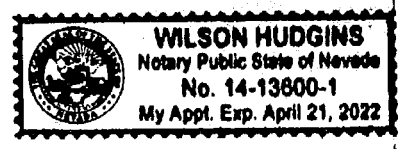
(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

 Property Owner (Signature)* Property Owner (Print)

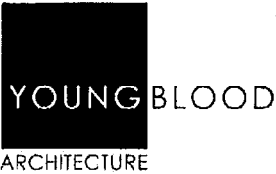
STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON January 27, 2020 (DATE)

By Tyler Corder
 NOTARY PUBLIC: Wilson Hudgins



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



PLANNER
COPY

January 28, 2020

Clark County
Department of Comprehensive Planning
Current Planning Division
500 S. Grand Central Parkway
Las Vegas, Nevada 89155

WC-20-400014

Re: Justification Letter - Findlay Volvo Cars of Las Vegas
APN: 176-02-601-022

In reference to the above-mentioned project, we wish to provide this Justification Letter to accompany our application.

Issue

We are requesting a Waiver of Conditions to remove the reciprocal, perpetual cross access, ingress/egress & parking agreements that were established in ZC-0606-01. This waiver will allow us to be consistent with the other dealerships in the surrounding area. This request is similar to what was approved at the adjacent Jaguar Land Rover, Subaru of Las Vegas, Gaudin Ford, Porsche Las Vegas and the ABC Hyundai Dealerships.

Findings

This building will share (a portion of) the same parcel as an existing Jaguar Land Rover Dealership. This site is part of an existing commercial subdivision. The Entitlement documents for the existing Jaguar Land Rover Dealership can be found in ZC-0215-17.

Because of the competitive nature of the car dealership business it is not normal to have cross access between dealership sites. Additionally, for security reasons it is important for car dealerships to control their vehicle inventory by limiting the ingress and egress points on the site.

This project is compatible with the adjacent businesses and meets the purpose of the CMA Overlay by providing high-quality, non-residential development while fostering a positive physical image and identity. This area has become the new car dealership corridor which strengthens the economic viability and stability of the area in conformance with the goals of the CMA. This project will conform with Clark County policies and standards. There will be no negative impact to neighborhood traffic or adjacent roadways. Building and landscape materials are consistent with adjacent businesses. Design characteristics will be harmonious with the surrounding developments and generally in conformance with the CMA criteria by providing visual interest along the streetscape. The following CMA architectural guidelines have been met in conformance with Title 30.48.

- The color and façade surfaces are subdued and compatible with the surrounding landscape.
- The scale of the proposed building is consistent and compatible with the surrounding area.
- The freestanding building has architectural detailing and design elements consistent with the CMA requirements including, but not limited to metal paneling.
- The building has a number of windows, variations in color, texture and material to minimize the visual impact from the right-of-way.
- There is ample perimeter landscaping and screening along the rights-of-way with detached sidewalks along Roy Horn Way.
- The lighting on the property shall be unobtrusive, energy efficient and shielded so that the glare is confined to the boundaries of the property.
- The lighting fixtures are compatible with the architectural theme of the project.
- The signage is compatible with the existing signage in the area and will contribute to a positive visual image in the area. The signage is simple, clean and consistent with other Volvo dealerships throughout the country.

All measures have been taken to ensure the public health, safety and welfare will be met by this new facility. The Waivers of Development Standards requested above are similar to the waivers granted at the adjacent Jaguar Land Rover, Subaru of Las Vegas, Gaudin Ford, Porsche Las Vegas and the ABC Hyundai Dealerships.

Please contact me with any further clarifications you may require.

Respectfully Submitted,



Richard Youngblood, A.I.A.
President



LIGHTING AND SIGNAGE
(TITLE 30)

DECATUR BLVD/CC 215

PUBLIC HEARING

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST

WS-20-0059-DECATUR COMMONS, LLC:

WAIVERS OF DEVELOPMENT STANDARDS for the following: **1)** allow encroachment into airspace; **2)** increase sign height; **3)** increase animated (electronic message unit) sign area; **4)** allow a freestanding sign along a freeway; and **5)** increase the maximum sign area.

DESIGN REVIEWS for the following: **1)** lighting; and **2)** signage in conjunction with a commercial center on 5.6 acres in an M-D (Design Manufacturing) (AE-60) Zone.

Generally located on the east side of Decatur Boulevard and the north side of CC 215 within Enterprise. MN/jor/jd (For possible action)

RELATED INFORMATION:

APN:

177-06-101-005; 177-06-101-006; 177-06-101-012; 177-06-101-034

WAIVERS OF DEVELOPMENT STANDARDS:

1. Encroachment into airspace (freestanding sign A).
2. Increase the sign height to 95 feet where 50 feet is the maximum per Table 30.72-1 (a 90% increase) (freestanding sign A).
3. Increase the animated sign area (static electronic message unit) to 720 square feet where 100 square feet is the maximum standard per Table 30.72-1 (a 620% increase) (freestanding sign A).
4. Allow a freestanding sign along a freeway where a freestanding sign is not permitted per Table 30.72-1 (freestanding sign A).
5. Increase the maximum sign area to 2,092 square feet where 828 square feet is the maximum standard per Table 30.72-1 (a 153% increase) (freestanding sign A and B).

LAND USE PLAN:

ENTERPRISE - BUSINESS AND DESIGN/RESEARCH PARK

BACKGROUND:

Project Description

General Summary

- Site Address: N/A
- Site Acreage: 5.6
- Project Type: Commercial center lighting and signage
- Sign Height (feet): Up to 95 (proposed)

- Square Feet (signs): 1,534 (freestanding sign A)/ 720 animated (static electronic message unit (Freestanding sign A)/558 (freestanding sign B)/60 (each monument sign – 3 total)/12 (each directional sign – 2 total)/1,000 (hotel wall sign)/1,000 (tavern wall sign)/1,000 (coffee shop wall sign)/1,600 (retail building wall sign)/1,600 (restaurant building walls sign)

Site Plans

The plans depict an approved commercial center via ZC-19-0020 and WS-19-0947. The development consists of a tavern and 3 retail/restaurant buildings on the west half, and a hotel on the east half of the site. Access to the site is via 1 driveway along Decatur Boulevard to the west and 1 driveway access on Ullom Drive to the east. Access to the adjacent undeveloped parcel to the north is also provided should a compatible use develop on that site. The parking spaces are distributed throughout the site and no changes are proposed to the overall site layout per this request.

Landscaping

Landscaping was previously approved for the site; and is neither required nor a part of this request.

Lighting

The proposed lighting plan depicts 24 light poles with a maximum height of 20 feet to be installed throughout the commercial center. The light poles are positioned around the perimeter of the site, throughout the parking spaces, and adjacent to the buildings. To accommodate the drive-thru lane for the restaurant building on the southwest corner of the site, the applicant will install 3 wall mount LED light fixtures on the rear elevation of the restaurant building. Per the site lighting photometric calculation plan, all on-site lighting will be fully shielded.

Signage

The sign location plan depicts a variety of signage for the approved commercial center. Per the plans, a proposed freestanding sign (freestanding sign A) is located on the southeast corner of the site (north of the CC 215), the proposed sign is set back 10 feet from the south and east property lines, and has a proposed maximum height of 95 feet, with a proposed overall area of 1,534 square feet. In addition, this freestanding sign A has a proposed animated (electronic message unit) area of 720 square feet. The applicant is requesting the following waivers of development standards: increase the sign height to 95 feet where 50 feet is the maximum, increase the overall area of 2 freestanding signs (A and B) to 2,092 square feet where 828 square feet is the maximum, and increase the area of the animated (electronic message unit) area for freestanding sign A to 720 square feet where 100 square feet is the maximum allowed per Chapter 30.72.

The second freestanding sign (freestanding sign B) is located along Decatur Boulevard, adjacent to main driveway entrance (along the west property line). This freestanding sign has a maximum height of 50 feet, is set back 10 feet from the property line, and has a total area of 558 square feet.

The plan also depicts 3 monument signs for the pad sites along the west property line (Decatur Boulevard). The monument signs each have an overall height of 10 feet, each sign will have an area of 60 square feet, and they are all set back 2 feet from the property line.

Furthermore, the plans show 2 directional signs along the east property line (Ullom Drive) adjacent to the hotel. The 2 directional signs each have a maximum height of 6 feet, they are set back 2 feet from the property line, and each sign has an overall area of 12 square feet.

Lastly, wall signs for the hotel, restaurant buildings, retail building, and tavern have a maximum letter height of 6 feet.

Elevations

The proposed signage all have the same exterior finishes and architectural features. Per the plans, the main vertical bracing is an aluminum skin panel with a light sand finish texture painted to match the buildings on-site. A smooth aluminum perforated metal sheet is an architectural accent painted to match the accent colors of the buildings. The tenant sections, monument sign display, and directional signs are constructed of a poly-carbonate case with silver 3M applied vinyl to display white lettering.

Applicant's Justification

Per the submitted justification letter, the proposed lighting and signage are conditions of approval that are required to proceed with the public hearing process. The site was previously approved for a commercial center which includes a tavern, restaurants, retail, and a hotel. The proposed light poles will encompass the entire site, and will have a maximum height of 20 feet and all proposed lighting will be fully shielded as required per Title 30. With regards to signage, all proposed signs except for the proposed freestanding sign north of the CC 215 (freestanding sign A) meet the require Code standards for height, area, setbacks, and overall design. The requested waivers of development standards are required in order to accommodate the signs potential visibility adjacent to the CC 215. The finished grade for the proposed freestanding sign adjacent to the beltway is at a lower grade. The proposed height of 95 feet is similar to other signs approved along the CC 215; such as Arroyo Shopping Center and Ikea. Increasing the animated (static electronic message unit) and the overall sign area will allow better visibility and architectural scale to the proposed sign.

Prior Land Use Requests

Application Number	Request	Action	Date
WS-19-0947	Increased height and a design review for a hotel	Approved by BCC	January 2020
WS-19-0541	Alternative driveway standards and over-length cul-de-sac in conjunction with a commercial retail center	Approved by PC	September 2019
VS-19-0544	Vacated and abandoned government patent casements	Approved by PC	September 2019
TM-19-500140	Commercial subdivision	Approved by PC	September 2019

Prior Land Use Requests

Application Number	Request	Action	Date
VS-19-0423	Vacated and abandoned a portion of right-of-way being Decatur Boulevard measuring approximately 5 feet wide	Approved by PC	July 2019
ZC-19-0020	Reclassified 3.7 acres from R-E to M-D zoning, with a use permit for retail sales as a principal use, restaurants, on-premises consumption of alcohol, a future hotel; waivers for alternative landscaping without a decorative wall; and a design review for commercial retail center	Approved by BCC	March 2019

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Business and Design/Research Park	R-E & C-2	Retail & undeveloped
South	Industrial	R-E & M-1	CC 215 & undeveloped
East	Business and Design/Research Park	P-1	State of Nevada maintenance yard
West	Business and Design/Research Park	C-2	Shopping center & undeveloped

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Current Planning

Waivers of Development Standards

According to Title 30, the applicant shall have the burden of proof to establish that the proposed request is appropriate for its existing location by showing that the uses of the area adjacent to the property included in the waiver of development standards request will not be affected in a substantially adverse manner. The intent and purpose of a waiver of development standards is to modify a development standard where the provision of an alternative standard, or other factors which mitigate the impact of the relaxed standard, may justify an alternative.

Waiver of Development Standards #2

Staff does not support the request to increase the height of freestanding sign A (southeast corner of the site) to 95 feet where 50 feet is the maximum per Title 30. The applicant does not provide viable justification that a freestanding sign at the proposed height is essential. The provided plans illustrate that the approved commercial center will be constructed 35 feet below the finished grade of the CC 215. Existing off-premise signs (billboards) enroute to the commercial center (via CC 215 - westbound) were constructed below the finished grade of the beltway at a typical height of 50 feet, with no visibility encumbrances. Vehicles approaching the commercial center via CC 215 (eastbound) do not have any visibility hurdles per the provided renderings.

Furthermore, the applicant provided a site plan of potential visual hurdles displaying the nearest 12 foot high sound barrier wall to the proposed sign (freestanding sign A). The nearest sound barrier wall was constructed 2,610 feet to the east (half a mile away). The plans also show an 8 foot high safety fence (not solid) 785 feet east of the proposed sign is approximately 310 feet in length, enough to provide a physical barrier as a portion of the beltway stretches over a portion of the Union Pacific Rail Road. Neither the sound barrier wall nor the safety fence create a visual hindrance to freestanding sign A. The applicant has the opportunity to re-scale the proposed freestanding sign in order to accommodate a much lower height and still accomplish the applicant's advertising goals. Staff does not support this request.

Waiver of Development Standards #3

The proposed animated (static electronic message unit) portion of freestanding sign A (southeast corner of the site) measures at 20 feet in height and a width of 36 feet (720 square feet total area). The maximum allowable area is 100 square feet. Staff does not support the applicant's request since, the proposed increase is not compatible in size compared to the existing signs in the immediate area. Since, staff cannot support the waiver of development standards #1, staff also cannot support this request.

Waiver of Development Standards #4

Staff does not support the location of freestanding sign A (adjacent to the CC 215). Per Chapter 30.72, freestanding signs in the M-D zoning district are allowed along a freeway when the development is a Project of Regional Significance. The commercial center does not qualify as a Project of Regional Significance because it is not within 500 feet of a local government's jurisdiction or within a half mile of the boundary of a local government's jurisdiction. Since, staff cannot support the aforementioned waivers of development standards, staff also cannot support this request.

Waiver of Development Standards #5

The request to increase the overall sign area for freestanding sign A and B from 828 square feet to 2,092 square feet is unwarranted. The applicant's plans propose the following additional signs on-site: 3 monument signs, wall signs, and 2 directional signs for the entire 5.6 acre commercial center (all of which meet Title 30 standards). Since, staff cannot support the aforementioned waivers of development standards, staff also cannot support this request.

Design Review #1

Staff has no objection to the proposed lighting design. The provided plans depict adequate lighting for the entire commercial center. The plans also show that the proposed light poles and light fixtures will all be shielded; therefore, staff supports this design review.

Design Review #2

The color selection and architectural detail of the proposed signs are harmonious to the site. However, since staff cannot support the aforementioned waivers of development standards, the design review for freestanding sign A cannot be supported. However, staff does support the design review for all other proposed signage.

Department of Aviation

The development will penetrate the 100:1 notification airspace surface for McCarran International Airport. Therefore, as required by 14 CFR Part 77, and Section 30.48.120 of the Clark County Unified Development Code, the Federal Aviation Administration (FAA) must be notified of the proposed construction or alteration.

Additionally, the development will penetrate the Part 77 airspace surface (Airport Airspace Overlay District), as defined by Section 30.48.100 of the Clark County Unified Development Code. Therefore, as required by Section 30.16.210(12)(D) of the Clark County Unified Development Code, final action cannot occur until the FAA has issued an airspace determination and the Department of Aviation has reviewed the determination.

Staff Recommendation

Approval of design review #1 and design review #2 for all signage except freestanding sign A; denial of design review #2 for freestanding sign A, and waivers of development standards #2, #3, #4, and #5.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

If approved:

- Maximum height of 60 feet for the freestanding sign on the southeast corner of the site (freestanding sign A).
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that this application must commence within 2 years of approval date or it will expire.

Public Works - Development Review

- Applicant is advised that signs, structures, and landscaping shall not encroach into public right-of-way, easements, or sight-visibility zones.

Department of Aviation

- Applicant is required to file a valid FAA Form 7460-1, "Notice of Proposed Construction or Alteration" with the FAA, in accordance with 14 CFR Part 77;
- Applicant must also receive either a Permit from the Director of Aviation or a Variance from the Airport Hazard Areas Board of Adjustment (AHABA) prior to construction as required by Section 30.48 PART B of the Clark County Unified Development Code;
- No building permits should be issued until applicant provides evidence that a "Determination of No Hazard to Air Navigation" has been issued by the FAA;

- Applicant is advised that the FAA's determination is advisory in nature and does not guarantee that a Director's Permit or an AHABA Variance will be approved; that FAA's airspace determinations (the outcome of filing the FAA Form 7460-1) are dependent on petitions by any interested party and the height that will not present a hazard as determined by the FAA may change based on these comments; and that the FAA's airspace determinations include expiration dates and that separate airspace determinations will be needed for construction cranes or other temporary equipment.

Building Department - Fire Prevention

- No comment.

Clark County Water Reclamation District (CCWRD)

- No comment.

TAB/CAC:

APPROVALS:

PROTESTS:

APPLICANT: TRISHA WEBER

CONTACT: LEBENE AIDAM-OHENE, BROWN, BROWN, & PREMSRIRUT, 520 S. FOURTH STREET, #200, LAS VEGAS, NV 89101

DRAFT



LAND USE APPLICATION 10A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

- TEXT AMENDMENT (TA)
- ZONE CHANGE
 - CONFORMING (ZC)
 - NONCONFORMING (NZC)
- USE PERMIT (UC)
- VARIANCE (VC)
- WAIVER OF DEVELOPMENT STANDARDS (WS)
- DESIGN REVIEW (DR)
- PUBLIC HEARING
- ADMINISTRATIVE DESIGN REVIEW (ADR)
- STREET NAME / NUMBERING CHANGE (SC)
- WAIVER OF CONDITIONS (WC)

- _____
(ORIGINAL APPLICATION #)
- ANNEXATION REQUEST (ANX)
- EXTENSION OF TIME (ET)
- _____
(ORIGINAL APPLICATION #)
- APPLICATION REVIEW (AR)
- _____
(ORIGINAL APPLICATION #)

STAFF	DATE FILED: <u>1/23/20</u> PLANNER ASSIGNED: <u>JOK</u> ACCEPTED BY: _____ FEE: <u>\$1,150</u> CHECK #: <u>861 & 862</u> COMMISSIONER: <u>MN</u> OVERLAY(S)? _____ PUBLIC HEARING? <u>Y</u> / <u>N</u> TRAILS? <u>Y</u> / <u>N</u> PFNA? <u>Y</u> / <u>N</u> APPROVAL/DENIAL BY: _____	APP. NUMBER: <u>WS-20-6059</u> TAB/CAC: <u>ENTERPRISE</u> TAB/CAC MTG DATE: <u>2/26</u> TIME: <u>6pm</u> PC MEETING DATE: _____ BCC MEETING DATE: <u>March 19, 2020</u> ZONE / AE / RNP: <u>M-P AE60</u> PLANNED LAND USE: <u>BDRP</u> NOTIFICATION RADIUS: <u>500</u> SIGN? <u>Y</u> / <u>N</u> LETTER DUE DATE: _____ COMMENCE/COMPLETE: _____
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PROPERTY OWNER	NAME: <u>Decatur Commons, LLC</u> ADDRESS: <u>509 Hotel Plaza</u> CITY: <u>Boulder City</u> STATE: <u>NV</u> ZIP: <u>89118</u> TELEPHONE: <u>N/A</u> CELL: <u>N/A</u> E-MAIL: <u>N/A</u>
-----------------------	--

APPLICANT	NAME: <u>Trisha Weber</u> ADDRESS: <u>509 Hotel Plaza</u> CITY: <u>Boulder City</u> STATE: <u>NV</u> ZIP: <u>89118</u> TELEPHONE: <u>N/A</u> <u>702-528-2110</u> CELL: <u>N/A</u> E-MAIL: <u>N/A</u> <u>SWEBERLV@gmail.com</u> REF CONTACT ID #: _____
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CORRESPONDENT	NAME: <u>Jay Brown/Lebene Ohene</u> ADDRESS: <u>520 South Fourth Street</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89131</u> TELEPHONE: <u>702-598-1429</u> CELL: <u>702-561-7070</u> E-MAIL: <u>Lohene@brownlawlv.com</u> REF CONTACT ID #: <u>173835</u>
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ASSESSOR'S PARCEL NUMBER(S): 177-06-101-005, 177-06-101-006, 177-06-101-012, & 177-06-101-034

PROPERTY ADDRESS and/or CROSS STREETS: Decatur Blvd & 215

PROJECT DESCRIPTION: Design Review as a Public Hearing for Signage and Lighting per ZC-19-0020

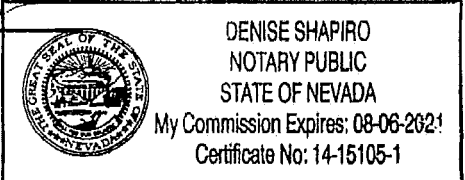
(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code, that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

[Signature] Trisha Weber
 Property Owner (Signature)* Property Owner (Print)

STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON October 23, 2019 (DATE)
 By Trisha Weber

NOTARY PUBLIC: Denise Shapiro



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.

WS-20-0059

LAW OFFICE

Brown, Brown & Premsrirut

AN ASSOCIATION OF PROFESSIONAL CORPORATIONS
520 SOUTH FOURTH STREET
LAS VEGAS, NEVADA 89101-6520

TELEPHONE (702) 384-5563
FACSIMILE (702) 385-1023
EMAIL: jbrown@brownlawlv.com

JAY H. BROWN
DAVID T. BROWN
PUOY K. PREMSRIRUT

January 23, 2020

Current Planning Division
Department of Comprehensive Planning
Clark County, Nevada
500 Grand Central Pkwy
Las Vegas, Nevada 89155-1841

**Re: Decatur Commons, LLC.,
Justification Letter –Design Reviews (Public Hearing) for
Lighting and Signage per the conditions of approval ZC-
19-0020 Revision 1
WS-20-0059**

**Assessors' Parcel Numbers: 177-06-101-005, 177-06-101-006, 177-
06-101-012 & 177-06-101-034**

To Whom It May Concern:

On behalf of our Client Decatur Commons, LLC., please accept this justification letter for a proposed lighting and signage package for a previously approved commercial center consisting of retail buildings, a tavern, restaurants and a hotel center on a total of 5.6 acres in an M-D zone. The commercial center is located on the north side of the 2-15 Beltway and the east side of Decatur Boulevard. Access to the site is from Decatur Boulevard to the west of the site and Ullom Street on the east side of the site. The commercial center was approved by action on ZC-19-0020 with other subsequent approvals. The conditions of approval required a lighting plan and signage plan approved as a public hearing.

Lighting Plan:

The lighting plan depicts proposed lighting within the center which shows the location of the light pole and utilities throughout the site and a photometric plan. The lights poles are 20 feet high and will all be shielded as required by Code. The plans depict the type of light fixtures and the wattage provided for each building. The plans also show the schedules for light fixture. All the fixtures and light poles comply with

Code requirements are shielded as required.

Signage Plan:

The sign plans depict two proposed freestanding signs for the site. The first sign (A) is located on the southeastern corner of the site at a height of 95 feet with a maximum area of 1,534 square feet. This sign is oriented towards the 2-15 Beltway for visibility from the travel lanes of the Beltway which is above the site. Freestanding sign (A) will include a 720 square foot animated sign electronic message unit (EMU). The second sign (B) is located at the main entrance to the site on Decatur Boulevard on the west property line. This sign is 50 feet high and 558 square feet. A total of three monument signs (C1, C2 and C3) are proposed at a height of 10 feet each and 60 square feet each. A total of 2 directional signs are proposed where 4 is allowed by Code at a height of 6 feet and 12 square feet each. A total of 9,216 square feet of wall signage is proposed for the buildings which is less than Code requirements.

We respectfully request approval of the following alternative to Title 30.72 requirements for the approved commercial center:

Waivers of Development Standard:

1. **Increase the height of freestanding sign (A) from 50 feet to 95 feet where 50 feet is allowed in an M-D zone.**

Justification:

The requested increase in height for sign (A) located on the southeastern portion of the site is necessary to provide visibility for the sign from the travel lanes of the 2-15 Beltway. The approved commercial center is located at the end of the off ramp on the 2-15 Beltway at the intersection with Decatur Boulevard. The site is below the off-ramp and the bridge of the Beltway, therefore, any sign place on the southern portion site will not be visible from above and is also block by the Freeway wall along the off-ramp. The site is lower than the Beltway and the bridge. The proposed height of the sign is similar to others approved along 2-15; such as for the Arroyo Shopping Center, Ikea and other commercial centers. Although this is center is not a project of regional significant like some of the others

mentioned the premise for the request is the same. In those instances, the Code allows an additional 30 feet above the travel lane. In this case even an increase of the height to 80 feet will still place the sign below the height of the travel lanes. Therefore, this request is to allow the sign to be visible from the travel lanes of the Beltway is appropriate and reasonable. Please see the attached plans to illustrate the issue and request which is a mitigation of the conditions on the ground.

2. Increase the area of an animated sign (EMU), sign (A) to 720 feet where 100 feet is allowed.

Justification:

The proposed increase in the animated sign area (static emu) is appropriate and will be used by all the uses within the center. The sign proposed is static and will not create a visual impact for the travel lanes or area. Additionally, this request is like others approved along the Beltway in the area and is an enhancement of the site and area.

3. Increase the maximum sign area allowed for a freestanding sign (A) to 1,534 square feet where a total of 876 square feet is allowed.

Justification:

The increase in the square footage for freestanding sign (A) is necessary to accommodate all the uses within the center including the recently approved hotel and is in scale with all the approved buildings on the site.

Design Reviews:

- 1) A Sign Package as conditioned.
- 2) A Lighting Plan as conditioned.

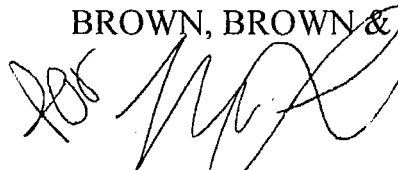
The proposed wall signs are per Code requirements and the square footage or height does not exceed requirements. The Developer will also be involved and monitor the signage for each use to ensure compatible to the approve sign package.

The sign and lighting package as proposed is appropriate and compatible with the area and with the existing approvals on the site which is across the street from properties within the CMA. Although alternatives are requested the application will enhance and be beneficial for the site and the area. The packages will result in a development character which is more compatible with existing approvals in the area and as anticipated by Code. Additionally, the signage will enhance the site and area and comply with the intent of the Code which will encourage other similar well designed packages in the area to create similar positive visual impacts.

We respectfully request your positive review and approval of the applications. Please let us know if you have any questions or need any further information.

Sincerely,

BROWN, BROWN & PREMSRIRUT

A handwritten signature in black ink, appearing to read 'Lebene A. Ohene', written over the printed name.

Lebene A. Ohene
Land Use and Development

VEHICLE SALES FACILITY
(TITLE 30)

TORREY PINES DR/ROY HORN WY

PUBLIC HEARING

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST

WS-20-0079-JONES 215, LLC:

WAIVERS OF DEVELOPMENT STANDARDS for the following: 1) reduce parking lot landscaping; 2) eliminate cross access; 3) waive applicable design standards per Table 30.56-2; 4) modified CMA Design Overlay District standards; 5) allow modified driveway design standards.

DESIGN REVIEW for a vehicle sales (automobile) showroom facility with outside display areas and ancillary uses on a 4.0 acre portion of a 14.1 acre site in a C-2 (General Commercial) Zone and a C-2 (General Commercial) (AE-60) Zone in the CMA Design Overlay District.

Generally located on the south side of Roy Horn Way, 650 feet east of Torrey Pines Drive within Enterprise. MN/md/jd (For possible action)

RELATED INFORMATION:

APN:

176-02-601-022 ptn

WAIVERS OF DEVELOPMENT STANDARDS:

1. Reduce parking lot landscaping where required per Figure 30.64-14.
2. Eliminate the requirement for cross access and shared parking with the properties to the east and west per Table 30.56-2.
3.
 - a. Permit non-decorative metal (aluminum composite paneling) where not permitted within the urban area per Table 30.56-2.
 - b. Permit vertical metal paneling where not permitted per Table 30.56-2.
4. Allow a horizontal roofline to exceed 100 feet in length without roofline variations where required per Section 30.48.650.
5. Reduce the throat depth for a proposed driveway along Roy Horn Way to 84 feet where a minimum of 150 feet is required per Uniform Standard Drawing 222.1 (a 44% reduction).

LAND USE PLAN:

ENTERPRISE - BUSINESS AND DESIGN/RESEARCH PARK

BACKGROUND:

Project Description

General Summary

- Site Address: 6425 Roy Horn Way
- Site Acreage: 4 (project site)

- Project Type: Vehicle sales (automobile) facility with ancillary uses (service facility and vehicle wash)
- Number of Stories: 2
- Building Height (feet): Up to 28
- Square Feet: 23,249 (vehicle sales facility)/1,149 (vehicle wash building)/200 (battery storage building)/1,280 (covered detail area)
- Parking Required/Provided: 55/190
- Separate vehicle display spaces: 147

Site Plans

The plans depict a vehicle sales facility with ancillary uses, including the outside display of automobiles. The building will be centrally located within the site and set back as follows: 1) 175 feet from Roy Horn Way; 2) 420 feet from Maule Avenue; and 4) 111 feet from the east property line. An accessory vehicle wash (automobile) building, battery storage building, canopy covered detailed area, and trash enclosure area are located within the rear portion of the project site, with a separation of 34 feet from the vehicle sales facility. The accessory vehicle wash (automobile) building is set back 103 feet from the east property line and 450 feet from Maule Avenue. Customer and vehicle display spaces are located to the north and east of the sales facility. Forty-four vehicle display spaces are located behind the 15 foot wide landscape area adjacent to Roy Horn Way. Employee parking, inventory and service parking spaces are located to the south (rear) of the facility, and will be enclosed by a 6 foot high decorative CMU block wall around the east, west, and south boundaries of the site. The vehicle sales facility requires 55 parking spaces where 190 parking spaces are provided. A 24 foot wide drive aisle circles the entirety of the showroom facility. The site also consists of 147 separate vehicle spaces for display, inventory, and servicing. A 5 foot wide pedestrian walkway connects the principal entrance of the facility to the 5 foot wide detached sidewalk adjacent to Roy Horn Way. The sole means of access to the project site is granted via a proposed commercial driveway along Roy Horn Way; no access is shown from Maule Avenue to the south.

Landscaping

The plans depict a landscape area ranging between 15 feet to 22 feet in width adjacent to Roy Horn Way, including a 5 foot wide detached sidewalk. Large, 24 inch box trees are planted 20 feet on center within the street landscape area, including shrubs and groundcover. Parking lot landscaping is equitably distributed to the north and northeast of the vehicle sales facility. A 6 foot wide landscape area is located adjacent to the northeast property line consisting of large, 24 inch box trees planted 40 feet on center. The employee, inventory, and service parking area is located behind the facility and is enclosed by a decorative CMU block wall with additional landscaping on portions of the northeast and northwest sides of the wall. The reduction to the parking lot landscaping applies to the employee, inventory, and service parking area. Additionally, a portion of the northeast parking lot includes a reduction to the required parking lot landscaping.

Elevations

The plans depict a vehicle sales facility with a height ranging from 22 feet to 28 feet to the top of the parapet wall. The portion of the building extending to the maximum height of 28 feet is the decorative metal rooftop screen intended to screen the mechanical equipment. The mechanical

equipment screen will consist of subdued color tones that will match the showroom facility and accessory vehicle wash building. The majority of the building will consist of a vertical, aluminum composite metal paneling system with both an etched and clear transparent glass curtain wall glass panel system incorporated into the design of the structure. A CMU block exterior is utilized on portions of the east, west, and south elevations of the facility. A 3 lane service canopy is located along the west portion of the building while a 3 lane delivery canopy is located along the east portion of the facility. The horizontal roofline waiver extending more than 100 feet applies to all 4 elevations of the showroom facility.

The accessory vehicle (automobile) wash has an overall height of 16 feet and consists of a CMU block exterior. The entrance to the vehicle wash is granted through the south bay while exiting from the north bay. The color palette will be consistent with the corporate identity for the brand of vehicles (Volvo), but consist of subdued color tones that will be integrated throughout both buildings.

A covered detail canopy area with an overall height of 15 feet is located to the south of the vehicle wash. The covered canopy will consist of a medium grey color.

Floor Plans

The plans depict a vehicle sales facility and showroom totaling 23,240 square feet with the following: 1) 9,910 square feet for administration and showroom; 2) 8,800 square feet for service area; and 3) 4,539 square feet for parts storage.

The accessory vehicle wash and battery storage building consist of 1,149 square feet and 200 square feet, respectively. The canopy area consists of 1,280 square feet.

Signage

Signage is not a part of this request.

Applicant's Justification

The applicant indicates that this request is intended to seek approval to construct a new Volvo franchised automobile sales and service facility. The waivers of development standards are consistent with similar waivers that have been granted to other vehicle sales facilities to the west.

The request to reduce parking lot landscaping is in the parking lot that is located behind the vehicle sales facility and within the walled service parking lot. This portion of the parking lot is concealed from public view by walls and the building. Therefore, any landscape provided in this area of the site will not be visible from any right-of-way or adjacent property. The request to waive the required cross access will allow the facility to be consistent with the other dealerships in the surrounding area. The design of the building, including the roofline, is dictated by the corporate image program necessitating the waiver request. The applicant states the proposed throat depth is adequate as the parking spaces located within the northwest portion of the site are for vehicle display purposes only.

The project is compatible with adjacent businesses and meets the purpose of the CMA Design Overlay District. This area has become the new car dealership corridor which strengthens the

economic viability and stability of the area. There will be no negative impacts to the neighborhood traffic or adjacent roadways. Design characteristics will be harmonious with the surrounding developments and the project meets the CMA Design Overlay District architectural guidelines.

Prior Land Use Requests

Application Number	Request	Action	Date
ADR-19-900634	Storage building in conjunction with an existing vehicle sales facility	Approved by ZA	October 2019
WS-18-0519	Increased height of a proposed freestanding sign and design review for a freestanding sign in conjunction with an existing vehicle sales on the western portion of the site	Approved by BCC	September 2018
VS-1073-17	Vacated and abandoned various easements on this site - recorded	Approved by PC	February 2018
ZC-0215-17	Reclassified a portion of this site to M-D zoning for a vehicle sales facility on the western portion of this site	Approved by BCC	May 2017
VS-0237-16	Vacated and abandoned right-of-way on a portion of the overall development site for a detached sidewalk - recorded	Approved by PC	June 2016
ZC-0606-01	Reclassified a portion of this site to C-2 zoning for 2 vehicle sales facilities	Approved by BCC	June 2001

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North*	Business and Design/Research Park	M-D	Office building with a production studio (UFC)
East	Business and Design/Research Park	C-2	Undeveloped
South	Business and Design/Research Park	C-2	Surface overflow parking lot
West	Business and Design/Research Park	M-D & C-2	Vehicle sales facility (Findlay Subaru)

*Directly to the north is the CC 215.

Related Applications

Application Number	Request
WC-20-400114 (ZC-0606-01)	A waiver of conditions for recording a reciprocal, perpetual cross access, ingress/egress, and parking agreements if dealerships are individually owned and operated is a companion item on this agenda.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Current Planning

Waivers of Development Standards

According to Title 30, the applicant shall have the burden of proof to establish that the proposed request is appropriate for its existing location by showing that the uses of the area adjacent to the property included in the waiver of development standards request will not be affected in a substantially adverse manner. The intent and purpose of a waiver of development standards is to modify a development standard where the provision of an alternative standard, or other factors which mitigate the impact of the relaxed standard, may justify an alternative.

Waivers of Development Standards #1 through #4

Staff can support the waivers of development standards as requested. Similar waivers have been approved with all nearby auto dealership facilities with no known adverse impacts. The applicant has provided mitigation by exceeding the landscape width and requirements along Roy Horn Way and the northeast perimeter of the site. Additionally, a large portion of the dedicated parking area for vehicle inventory is enclosed behind a 6 foot high decorative block wall which would minimize the visibility of the parking lot trees from the street frontage.

The horizontal roofline design of the proposed facility is consistent and compatible with the existing facilities immediately to the east. Although the vertical metal paneling is not considered a decorative material, staff finds the contrasting patterns comply with Commercial Policy 78 of the Comprehensive Master Plan which encourages architectural treatments on all building sides to eliminate blank building elevations visible to the general public. The combination of the horizontal metal paneling, in addition to the etched glass and CMU block, enhances the design element of the elevations. Staff also finds that the contrasting colors between the exterior materials improves the aesthetic quality of the vehicle sales facility.

The project site and adjacent properties are large, consisting of multiple acres; therefore, do not necessitate the shared parking and access to the properties to the east and west. Typically, staff does not support requests to waive cross access to adjacent properties with similar land uses and parking requirements. However, several requests to waive the cross access requirement have previously been approved for the existing sites to the west and northwest. The request to waive cross access should not have any impact on the surrounding land uses and properties. Therefore, staff recommends approval.

Design Review

The CMA Design Overlay District was established to impose, and thereby encourage and promote, a high level of quality development that will produce a stable environment in harmony with existing and future development and protect the use of neighboring properties. Staff finds that the proposed project is compatible to the surrounding area and complies with the majority of the CMA Design Overlay District requirements. The site design with parking courts and landscaping is consistent with the approved and existing land uses in the immediate area. The plans depict a use, design, and geographic location that are compliant with Urban Land Use

Policy 10 of the Comprehensive Master Plan which encourages site designs that are compatible with adjacent land uses and off-site circulation patterns. Finally, staff finds the intended use is consistent with the purpose and intent of the Business and Design/Research Park land use designation which applies to areas where commercial, professional or manufacturing developments are designed to assure minimal impact on surrounding areas. The proposed vehicle sales facility is a functional extension for the existing developments to the west and integrated as a seamless automobile sales corridor. Therefore, staff recommends approval of this request.

Public Works - Development Review

Waiver of Development Standards #5

Staff has no objection to the reduction in the throat depth, in that majority of the parking stalls on the site are to display vehicles that are for sale.

Department of Aviation

The development will penetrate the 100:1 notification airspace surface for McCarran International Airport. Therefore, as required by 14 CFR Part 77, and Section 30.48.120 of the Clark County Unified Development Code, the Federal Aviation Administration (FAA) must be notified of the proposed construction or alteration.

Staff Recommendation

Approval is contingent upon approval of WC-20-400014 (ZC-0606-01).

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

- Certificate of Occupancy and/or business license shall not be issued without final zoning inspection.
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that this application must commence within 2 years of approval date or it will expire.

Public Works - Development Review

- Drainage study and compliance;
- Traffic study and compliance;
- Full off-site improvements;
- Vacate any unnecessary easements.
- Applicant is advised that the installation of detached sidewalks will require granting necessary easements for utilities, pedestrian access, streetlights, and traffic control or

execute a License and Maintenance Agreement for non-standard improvements in the right-of-way.

Department of Aviation

- Applicant is required to file a valid FAA Form 7460-1, "Notice of Proposed Construction or Alteration" with the FAA, in accordance with 14 CFR Part 77, or submit to the Director of Aviation a "Property Owner's Shielding Determination Statement" and request written concurrence from the Department of Aviation;
- If applicant does not obtain written concurrence to a "Property Owner's Shielding Determination Statement," then applicant must also receive either a Permit from the Director of Aviation or a Variance from the Airport Hazard Areas Board of Adjustment (AHABA) prior to construction as required by Section 30.48 Part B of the Clark County Unified Development Code;
- No building permits should be issued until applicant provides evidence that a "Determination of No Hazard to Air Navigation" has been issued by the FAA or a "Property Owner's Shielding Determination Statement" has been issued by the Department of Aviation.
- Applicant is advised that the FAA's determination is advisory in nature and does not guarantee that a Director's Permit or an AHABA Variance will be approved; that FAA's airspace determinations (the outcome of filing the FAA Form 7460-1) are dependent on petitions by any interested party and the height that will not present a hazard as determined by the FAA may change based on these comments; that the FAA's airspace determinations include expiration dates; and that separate airspace determinations will be needed for construction cranes or other temporary equipment.

Building Department - Fire Prevention

- No comment.

Clark County Water Reclamation District (CCWRD)

- Applicant is advised that the property is already connected to the CCWRD sewer system; and that if any existing plumbing fixtures are modified in the future, then additional capacity and connection fees will need to be addressed.

**TAB/CAC:
APPROVALS:
PROTESTS:**

APPLICANT: JONES 215, LLC

CONTACT: ROGER CAMPERI, 310 N. GIBSON ROAD, HENDERSON, NV 89014



LAND USE APPLICATION 11A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

- TEXT AMENDMENT (TA)
- ZONE CHANGE
 - CONFORMING (ZC)
 - NONCONFORMING (NZC)
- USE PERMIT (UC)
- VARIANCE (VC)
- WAIVER OF DEVELOPMENT STANDARDS (WS)
- DESIGN REVIEW (DR)
 - PUBLIC HEARING
- ADMINISTRATIVE DESIGN REVIEW (ADR)
- STREET NAME / NUMBERING CHANGE (SC)
- WAIVER OF CONDITIONS (WC)
 - (ORIGINAL APPLICATION #)
- ANNEXATION REQUEST (ANX)
- EXTENSION OF TIME (ET)
 - (ORIGINAL APPLICATION #)
- APPLICATION REVIEW (AR)
 - (ORIGINAL APPLICATION #)

STAFF	DATE FILED: <u>1/30/20</u> PLANNER ASSIGNED: <u>MMD</u> ACCEPTED BY: <u>MMD</u> FEE: <u>\$1,150</u> CHECK #: <u>3216</u> COMMISSIONER: <u>NAFT</u> OVERLAY(S)? <u>CMA</u> PUBLIC HEARING? <input checked="" type="checkbox"/> / <input type="checkbox"/> TRAILS? <input checked="" type="checkbox"/> / <input type="checkbox"/> PFNA? <input checked="" type="checkbox"/> / <input type="checkbox"/> APPROVAL/DENIAL BY: _____	APP. NUMBER: <u>WS-20-0079</u> TAB/CAC: <u>ENTERPRISE</u> TAB/CAC MTG DATE: <u>2/26/20</u> TIME: <u>6:00</u> PC MEETING DATE: <u>-</u> BCC MEETING DATE: <u>3/18/20 9:00 A.M.</u> ZONE / AE / RNP: <u>C-2/M-O/AE-60/NUME</u> PLANNED LAND USE: <u>ENTBDRP</u> NOTIFICATION RADIUS: <u>500'</u> SIGN? <input checked="" type="checkbox"/> / <input type="checkbox"/> LETTER DUE DATE: _____ COMMENCE/COMPLETE: _____
PROPERTY OWNER	NAME: <u>JONES 215 LLC</u> ADDRESS: <u>310 N Gibson Road</u> CITY: <u>Henderson</u> STATE: <u>NV</u> ZIP: <u>89014</u> TELEPHONE: <u>702-558-8822</u> CELL: <u>702-558-8822</u> E-MAIL: <u>tcorder@findlayauto.com</u>	
APPLICANT	NAME: <u>JONES 215 LLC</u> ADDRESS: <u>310 N Gibson Road</u> CITY: <u>Henderson</u> STATE: <u>NV</u> ZIP: <u>89014</u> TELEPHONE: <u>(702) 457-0321</u> CELL: <u>(702) 239-2725</u> E-MAIL: <u>RCamperi@findlayauto.com</u> REF CONTACT ID #: _____	
CORRESPONDENT	NAME: <u>Roger Camperi</u> ADDRESS: <u>310 N Gibson Road</u> CITY: <u>Henderson</u> STATE: <u>NV</u> ZIP: <u>89014</u> TELEPHONE: <u>(702) 457-0321</u> CELL: <u>(702) 239-2725</u> E-MAIL: <u>RCamperi@findlayauto.com</u> REF CONTACT ID #: _____	

ASSESSOR'S PARCEL NUMBER(S): 176-02-601-022 (a portion of)

PROPERTY ADDRESS and/or CROSS STREETS: A vacant parcel of land on the south side of Roy Horn Way & South of Torrey Pines.

PROJECT DESCRIPTION: Design Review with required Waivers of Development Standards for a new Volvo Cars Dealership.

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

 Property Owner (Signature)*

 Property Owner (Print)

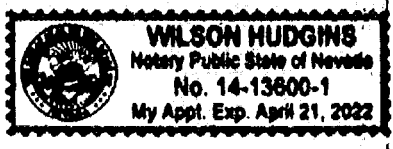
STATE OF Nevada

COUNTY OF Clark

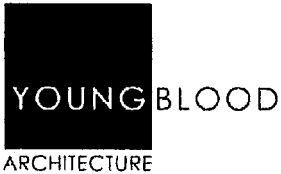
SUBSCRIBED AND SWORN BEFORE ME ON January 14, 2020 (DATE)

By Tyler Corder

NOTARY PUBLIC: Wilson Hudgins



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



January 28, 2020

Clark County
Department of Comprehensive Planning
Current Planning Division
500 S. Grand Central Parkway
Las Vegas, Nevada 89155

PLANNER
COPY

WS-20-0079

Re: Justification Letter - Findlay Volvo Cars of Las Vegas
APN: 176-02-601-022

In reference to the above-mentioned project, we wish to provide this Justification Letter to accompany our application.

Issues

We are requesting a Design Review to construct and maintain a Volvo Cars Automotive Dealership that sits on a 4.0 acre portion of the 14.02 acre site. We are also requesting the following Waivers of Development Standards:

- Waive the parking lot landscaping as required in Figure 30.64-14 for the portion of the parking lot that is behind the building and within the walled service parking lot. This portion of the parking lot is concealed from public view by walls and the building. Therefore, any landscape provided in this area of the site will not be visible to any R-O-W or adjacent property. This request is similar to the walled service parking at the adjacent Jaguar Land Rover, Subaru of Las Vegas, Gaudin Ford, Porsche Las Vegas and the ABC Hyundai Dealerships.
- Waive the CMA site design standard for the shared cross access to the adjacent parcels. This will allow us to be consistent with the other dealerships in the surrounding area. This request is similar to what was approved at the adjacent Jaguar Land Rover, Subaru of Las Vegas, Gaudin Ford, Porsche Las Vegas and the ABC Hyundai Dealerships.
- Waive the "Roofline Variations" required in 30.48.650, #7. The design of this building is dictated by the Volvo Corporation. The roofline cannot be changed as it is a part of their corporate image program. We are also requesting a consistent height roof line longer than 100 feet horizontal.
- Waiver of development standards to reduce the required 150'-0" driveway throat depth (per Uniform Standard Drawing 222.1). The current driveway throat depths are as follows:
 - West Side of Entry Driveway - 131'-0" throat depth to a point past the adjacent Display Parking Stalls. These parking stalls are used for display only and the vehicles parked there will be operated by employees, not customers (no customer parking). 84'-3" throat depth to the edge of the 1st adjacent concrete curb.

- East Side of Entry Driveway - 108'-6" throat depth to the edge of the center line of the driveway in front of the dealership.

Findings

This building will share (a portion of) the same parcel as an existing Jaguar Land Rover Dealership. This site is part of an existing commercial subdivision. The Entitlement documents for the existing Jaguar Land Rover Dealership can be found in ZC-0215-17.

Justification for the reduced driveway throat depth - Unlike restaurant, retail, office and other commercial uses, car dealerships have very low traffic counts and have very few employees on staff at any one time. Additionally traffic flows in and out of the site are consistent throughout business hours and there are no spikes in traffic flows for lunch traffic or morning / evening shift changes. Employees at car dealerships typically have schedules that are flexible therefore, there is not an in or out-rush of employees at shift changes.

This project is compatible with the adjacent businesses and meets the purpose of the CMA Overlay by providing high-quality, non-residential development while fostering a positive physical image and identity. This area has become the new car dealership corridor which strengthens the economic viability and stability of the area in conformance with the goals of the CMA. This project will conform with Clark County policies and standards. There will be no negative impact to neighborhood traffic or adjacent roadways. Building and landscape materials are consistent with adjacent businesses. Design characteristics will be harmonious with the surrounding developments and generally in conformance with the CMA criteria by providing visual interest along the streetscape. The following CMA architectural guidelines have been met in conformance with Title 30.48.

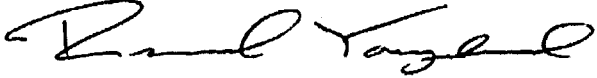
- The color and façade surfaces are subdued and compatible with the surrounding landscape.
- The scale of the proposed building is consistent and compatible with the surrounding area.
- The freestanding building has architectural detailing and design elements consistent with the CMA requirements including, but not limited to metal paneling.
- The building has a number of windows, variations in color, texture and material to minimize the visual impact from the right-of-way.
- There is ample perimeter landscaping and screening along the rights-of-way with detached sidewalks along Roy Horn Way.
- The lighting on the property shall be unobtrusive, energy efficient and shielded so that the glare is confined to the boundaries of the property.
- The lighting fixtures are compatible with the architectural theme of the project.
- The signage is compatible with the existing signage in the area and will contribute to a positive visual image in the area. The signage is simple, clean and consistent with other Volvo dealerships throughout the country.

All measures have been taken to ensure the public health, safety and welfare will be met by this new facility. The Waivers of Development Standards requested above are similar to the waivers granted at the adjacent Jaguar Land Rover, Subaru of Las Vegas, Gaudin Ford, Porsche Las Vegas and the ABC Hyundai Dealerships.

Findlay Volvo Cars of Las Vegas
January 28, 2020
Page 3 of 3

Please contact me with any further clarifications you may require.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Richard Youngblood". The signature is fluid and cursive, with a large initial "R" and "Y".

Richard Youngblood, A.I.A.
President

03/18/20 BCC AGENDA SHEET

PARKING LOT EXPANSION
(TITLE 30)

WARM SPRINGS RD/LINDELL RD

PUBLIC HEARING

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST

WS-20-0096-COUNTY OF CLARK (AVIATION) & NEVADA POWER COMPANY
LEASE:

WAIVERS OF DEVELOPMENT STANDARDS for the following: 1) street landscaping; and 2) reduce parking lot landscaping.

DESIGN REVIEWS for the following: 1) alternative parking lot landscaping; and 2) expansion of parking lot including solar PV shade covers for a public utility distribution warehouse facility on 37.0 acres in an M-D (Designed Manufacturing) Zone in the CMA Design Overlay District.

Generally located on the north side of Warm Springs Road and the west side of Lindell Road within Enterprise, MN/lm/jd (For possible action)

RELATED INFORMATION:

APN:

176-01-402-002; 176-01-402-004; 176-01-402-009

WAIVERS OF DEVELOPMENT STANDARDS:

1. a. Reduce street landscaping along Lindell Road to 6 feet where 15 feet is required per Figure 30.64.030.1 (a 60% reduction).
- b. Waive street landscaping along Westwind Road where Figure 30.64-5 is required.
2. a. Allow parking lot landscape fingers every 10 spaces where landscape island fingers are required every 6 spaces per Figure 30.64-14 (a 44% reduction).
- b. Allow parking lot landscaping to consist of shrubbery where trees are required per Figure 30.64-14.

LAND USE PLAN:

ENTERPRISE - BUSINESS AND DESIGN/RESEARCH PARK

BACKGROUND:

Project Description

General Summary

- Site Address: 7155 Lindell Road
- Site Acreage: 37
- Project Type: Expand parking lot for a public utility facility distribution warehouse
- Shade Cover Height (feet): 13
- Parking Required/Provided: 249/1293

Site Plans/Request

The plans depict an existing 371,718 square foot distribution warehouse building and several outbuildings for NV Energy located on the northerly portion of the site and west of the Westwind Road. The current proposed development is for an expansion of the existing parking areas on the east side of the buildings adjacent to Lindell Road and on the east side of Westwind Road, north of Warm Springs Road. The parking areas include solar PV shades over all new and some existing parking spaces, and card reader access gate at driveway access to Westwind Road and redesigned card reader access gate to Lindell Road.

Landscaping & Lighting

The plans depict an existing landscape area along Lindell Road that ranges from 6 feet to 14 feet, 6 inches wide with new 8 foot high decorative screen wall located at the back of the landscape areas. An attached sidewalk with 10 foot wide landscape area along Lindell Road was previously approved (WS-1417-06). The driveway entrances on both Lindell Road and Westwind Road are shown landscaped with a 5 foot wide area on the outside of the 8 foot high screen walls. A 4.5 foot wide landscape area is proposed along Westwind Road with rockscape. A 15 foot wide landscape area with detached sidewalk is shown along Warm Springs Road and at the spandrel per Code requirements. Parking lot landscaping and fingers are provided internal to the site with landscape fingers every 10 spaces and shrubbery. Some of the internal parking lot landscape areas, include trees at driveway intersections. Parking lot luminaries (light poles) are located at the card reader entry gates to the parking lot and are shielded with an overall height of 25 feet.

Elevations

The solar PV shade covers are painted steel structures with photovoltaic modules over a rack system for the vehicle canopies at an overall height of 13 feet. There are under mounted shielded canopy light fixtures in several locations on each canopy.

Signage

Signage is not a part of this request.

Applicant's Justification

The applicant indicates that the proposed parking lot expansion will increase the parking area by 397 parking spaces where all of the new parking spaces will be covered with solar PV shades. The expansion will include a reconfiguration and retrofitting of the existing parking lot areas of the existing facility. The applicant also indicates that the reduction in parking lot landscaping is due to the solar PV shade covers over all of the proposed parking areas, there would be insufficient light and space between the covers for trees and as proposed will match the existing parking on the northerly parcel. The reduction in landscaping along Lindell Road is necessitated for the construction of the security wall between the southerly gated entry and the gated egress and landscaping is provided on both sides of the driveway entrances on Lindell Road and Warm Springs Road. Additionally, the reduction of landscaping along Westwind Road is requested due to NV Energy currently leasing the northerly parcel from Clark County and would like to eventually purchase the parcel and combine all the parcels into 1 facility with a private drive.

Prior Land Use Requests

Application Number	Request	Action	Date
ADR-19-900613	Administrative Design Review for 25 foot high shade structures for materials storage on the most westerly property line of APN:176-01-402-009	Approved by ZA	September 2019
WS-18-0431	Waive cross access, ingress/egress easements and reduced throat depth and design review for an office/warehouse building and increased grade and street improvements	Approved by BCC	September 2018
VS-18-0432	Vacated and abandoned patent easements	Approved by BCC	September 2018
WS-0777-16	Modified driveway design standards with design reviews for warehouse building and increased finished grade in conjunction with a proposed warehouse building - expired	Withdrawn	February 2017
WS-1175-07	Increased wall height to 14.5 feet with 10 foot screen wall	Approved by PC	November 2007
UC-1274-07	Communication Tower	Approved by PC	December 2007
ZC-1705-06	Reclassified from R-E to M-D zoning (no development plans submitted)	Approved by BCC	January 2007
VS-1539-06	Vacated and abandoned a portion of Warm Springs Road	Approved by PC	December 2006
WS-1417-06	Allowed attached sidewalks for public facility (NV Energy Operations Facility)	Approved by BCC	November 2006
WS-0679-06	Increased driveway widths to 50 feet for modified design standards	Approved by PC	June 2006
ZC-0089-06	Reclassified 71.06 acres to M-D & M-1 with increased sign heights and monument sign area for industrial, office, and retail development on 263.3 acres	Approved by BCC	May 2006
ZC-1177-05	Reclassified 64.2 acres to M-D zoning and allowed attached sidewalks for a distribution center on 30.5 acres	Approved by BCC	September 2005

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Business and Design/Research Park	M-D	Undeveloped & industrial complex
South	Business and Design/Research Park	C-2	Data center & Nevada Energy infrastructure
East	Business and Design/Research Park	M-D	Undeveloped, data center & industrial complex

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
West	Public Facilities	R-E, PF, & M-D	LVVWD & SNWA infrastructure & undeveloped

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis

Current Planning

Waivers of Development Standards

According to Title 30, the applicant shall have the burden of proof to establish that the proposed request is appropriate for its existing location by showing that the uses of the area adjacent to the property included in the waiver of development standards request will not be affected in a substantially adverse manner. The intent and purpose of a waiver of development standards is to modify a development standard where the provision of an alternative standard, or other factors which mitigate the impact of the relaxed standard, may justify an alternative.

Waiver of Development Standards #1a & #1b

Typically, staff does not support the reduction in street landscaping due to the visual benefit to the community as encouraged by Urban Specific Policy 97 of the Comprehensive Master Plan. However, in this case the reduction to street landscaping is minimal as compared to the previously approved reduced landscape areas along Lindell Road for this development. Additionally, the landscaping along Westwind Road is essentially internal to the NV Energy site where the road would not be used for typical public purposes, and staff does not find that the reduction will have a negative impact on the community. Therefore, staff recommends approval.

Waiver of Development Standards #2

While Urban Specific Policy 73 of the Comprehensive Master Plan encourages provisions for interior landscaping for shade and visual relief, staff finds that the proposed parking lot will be shaded by the solar PV covers and that some trees and shrubbery have been added to the internal parking areas; however, it will not necessarily be visible from the public rights-of-way. Therefore, staff can support the request.

Design Reviews #1 & #2

The proposed parking lot, landscaping, and redesign will be entirely enclosed by an 8 foot high security wall and the parking area drive aisle width, and arrangement of parking spaces all meet Title 30 standards. Staff is supporting the requested waivers; therefore, staff can support the design reviews for the parking lot.

Staff Recommendation

Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

- Certificate of Occupancy and/or business license shall not be issued without final zoning inspection.
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that this application must commence within 2 years of approval date or it will expire.

Public Works - Development Review

- Drainage study and compliance;
- Full off-site improvements;
- Right-of-way dedication to include 30 feet for Westwind Road with a portion of the cul-de-sac, 45 feet to the back of curb for Warm Springs Road, and associated spandrels.
- Applicant is advised that the installation of detached sidewalks will require dedication to back of curb and granting necessary easements for utilities, pedestrian access, streetlights, and traffic control; and that signs, structures, and landscaping shall not encroach into public right-of-way, easements or sight-visibility zones.

Building Department - Fire Prevention

- No comment.

Clark County Water Reclamation District (CCWRD)

- No comment.

**TAB/CAC:
APPROVALS:
PROTESTS:**

APPLICANT: NV ENERGY

CONTACT: THAI TRAN, STANLEY GROUP, 5820 S. EASTERN AVENUE, SUITE 200,
LAS VEGAS, NV 89119





LAND USE APPLICATION 12A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input type="checkbox"/> ZONE CHANGE <input type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (NZC) <input type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input checked="" type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input checked="" type="checkbox"/> DESIGN REVIEW (DR) <input type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) (ORIGINAL APPLICATION #)	STAFF	DATE FILED: <u>1/31/2020</u> PLANNER ASSIGNED: <u>LUN</u> ACCEPTED BY: <u>LUN</u> FEE: <u>\$ 975</u> CHECK #: <u>1000284748849</u> COMMISSIONER: <u>MN</u> OVERLAY(S)? <u>CMA</u> PUBLIC HEARING? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N TRAILS? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N PFNA? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N APPROVAL/DENIAL BY: <u> </u>	APP. NUMBER: <u>WS-20-0096</u> TAB/CAC: <u>ENTERPRISE</u> TAB/CAC MTG DATE: <u>2/24/20</u> TIME: <u>6pm</u> PC MEETING DATE: <u> </u> BCC MEETING DATE: <u>3/18/2020</u> ZONE / AE / RNP: <u>M-N</u> PLANNED LAND USE: <u>ENT BDRP</u> NOTIFICATION RADIUS: <u>500</u> SIGN? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N LETTER DUE DATE: <u> </u> COMMENCE/COMPLETE: <u> </u>
	PROPERTY OWNER	NAME: <u>NV Energy</u> ADDRESS: <u>6226 W. Sahara Ave</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89146</u> TELEPHONE: <u>775-834-5834</u> CELL: <u>775-813-5834</u> E-MAIL: <u>rnegron@nvenergy.com</u>	
	APPLICANT	NAME: <u>Ralph Negron - NV ENERGY</u> ADDRESS: <u>6226 W Sahara Ave</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89146</u> TELEPHONE: <u>775-834-5834</u> CELL: <u>775-813-5834</u> E-MAIL: <u>Rnegron@nvenergy.com</u> REF CONTACT ID #: <u> </u>	
	CORRESPONDENT	NAME: <u>THAI TRAN - STANLEY CONSULTANTS</u> ADDRESS: <u>5820 S. EASTERN AVE, SUE 200</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89119</u> TELEPHONE: <u>702 534 2144</u> CELL: <u>702 336 8088</u> E-MAIL: <u>tranthai@stanleygroup.com</u> REF CONTACT ID #: <u>191244</u>	

ASSESSOR'S PARCEL NUMBER(S): 176-01-402-004; 176-01-402-002; 176-01-402-000
 PROPERTY ADDRESS and/or CROSS STREETS: W Warm Springs & Westwind Rd
 PROJECT DESCRIPTION: Develop new employee parking lot

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

Property Owner (Signature) _____ Property Owner (Print) _____

STATE OF NEVADA
 COUNTY OF WASHOE
 SUBSCRIBED AND SWORN BEFORE ME ON 2-9-2020 (DATE)
 By Kathy Lambert
 NOTARY PUBLIC: Kathy Lambert



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



Stanley Consultants INC

NVE Parking @ Beltway
APN 176-01-402-002, 004 and 009
SCi Proj# 28998

January 30, 2020
Lorna Phegley
Comprehensive Planning Department
P. O. Box 551744
Las Vegas, NV 89155-1744

Re: NV Energy Parking at Beltway – APN 176-01-402-002, 004 & 009

Ms. Phegley,

Stanley Consultants, Inc. is representing the NV Energy in the development of a private parking lot located at the northeast corner of Westwind Road and Warm Springs Road on Parcels APN# 176-01-402-002 and 004. The new proposed lot will yield a net of 397 total standard parking spaces, all of which will be covered with solar PV shades. This project provides additional parking in the new lot but will include a reconfiguration and retrofitting of the existing parking lots to the north and east located on APN 176-01-402-009. The reconfiguration in the existing lot will lose 20 standard parking spaces but will gain 8 additional ADA parking (to comply with ADA requirements for the new 397 spaces). This also allows for retrofitting of the easterly adjacent parking lot to be PV solar covered also. In total, the parking facility will be increased from 898 spaces (15 ADA included) to 1293 (23 ADA included). On-site lighting plans are submitted with this application and adhere to Development Code Section 30.48.67 by providing site lighting thru pole mounted fixtures and under canopy lighting. A photometric analysis is also included.

As part of our development, we are asking for a waiver of the following Development Code standards:

Figure 30.64-14 – Allow 10 parking spaces between landscape islands where 6 parking spaces (maximum) are allowed
To keep with the solar PV shade requirements and matching to the standards of the existing easterly lot we are asking for an allowance of up to 10 parking spaces between landscape islands where 6 is allowed. We are also asking to waive the tree planting requirement as it is not possible due to the solar/shade canopies, shrubberies within the parking islands will be provided per the Landscape Plans.

Figure 30.64-17 & 18 – Reduction of landscape buffer to 6’ wide along Lindell Road where 10’ is required.
8’ high security screen walls will be constructed along the perimeter of the new parcels and along the Lindell Road frontage of the existing parking facility. Construction of the security wall along Lindell Road reduces the existing landscape area, leaving only 6’ available for landscaping between the southerly most gated entry and the gated egress only exit.

Figure 30.64-5 & 6 - Waiver of landscape requirements along Westwind Road
Since Westwind Road terminates within parcels 176-01-402-002, 004 and 009 and serving only NVE Facilities, NVE intends to purchase APN 176-01-402-009 (from Clark County) in the future, and vacate all ROW dedications for Westwind Road. The vacation/abandonment of the ROW will change Westwind Road into a private drive with no landscape requirements. For this reason, NVE is also asking for a waiver of landscape requirements along the Westwind Road frontage and allowing only landscape rocks (decomposed granite) in the 6’ buffer between the sidewalk and perimeter wall.

We believe this development is compatible with the existing facility and the PV solar cover with EV charging will introduce a new standard in parking lot design and green energy initiative. We seek your support and approval of these applications.

Please feel free to contact me for any questions and further clarifications.

Sincerely,

Stanley Consultants, Inc.



Thai Q. Tran, P.E.
Project Manager

03/18/20 BCC AGENDA SHEET

DISTRIBUTION CENTER
(TITLE 30)

SUNSET RD/LINDELL RD

PUBLIC HEARING
APP. NUMBER/OWNER/DESCRIPTION OF REQUEST
ZC-20-0068-SUNSET VIEW, LLC:

ZONE CHANGE to reclassify 12.0 acres of a 14.3 acre site from R-E (Rural Estates Residential) (AE-60) Zone to M-D (Designed Manufacturing) (AE-60) Zone.

WAIVER OF DEVELOPMENT STANDARDS to allow modified driveway design standards.
DESIGN REVIEWS for the following: 1) increased finish grade; and 2) distribution center on 14.3 acres in the CMA Design Overlay District.

Generally located on the south side of Sunset Road and the west side of Lindell Road within Enterprise (description on file). MN/lm/ja (For possible action)

RELATED INFORMATION:

APN:

176-01-102-003; 176-01-102-004; 176-01-102-006; 176-01-102-007; 176-01-102-010; 176-01-102-017

WAIVER OF DEVELOPMENT STANDARDS:

Reduce throat depth for driveways along Lindell Road and Westwind Road to 9 feet where 50 feet is the standard per Uniform Standard Drawing 222.1 (an 82% reduction).

DESIGN REVIEWS:

1. Increase finished grade up to 60 inches where a maximum of 18 inches is the standard per Section 30.32.040 (a 70% increase).
2. Distribution center.

LAND USE PLAN:

ENTERPRISE - BUSINESS AND DESIGN/RESEARCH PARK

BACKGROUND:

Project Description

General Summary

- Site Acreage: 12 (zone change)/14.3 (waiver and design reviews)
- Project Type: Distribution center
- Number of Stories: 1
- Building Height (feet): 48
- Square Feet: 249,600

- Parking Required/Provided: 187/192

Site Plan

The site consists of 6 parcels for a total of 14.3 acres with access being provided by 2 enhanced colored concrete 40 foot wide driveway entrances on Lindell Road and 2 enhanced colored concrete 32 foot wide driveway entrances on Westwind Road in compliance with the CMA Design Overlay Standards. The plans depict a distribution center centrally located on the site. Parking is located along the north, west and the northerly portion of the east property lines adjacent to the landscape areas along the streets, and adjacent to the north and west sides of the building. The loading docks and outside storage area for the distribution center are located on the east side of the building and are screened from Lindell Road in compliance with the CMA Design Overlay Standards. Additionally, there are existing overhead power lines along the north property lines.

Landscaping

The plans depict a 20 foot wide landscape area with detached sidewalk along Sunset Road, a 15 foot wide landscape area with detached sidewalk along Lindell Road, and a 10 foot wide landscape area with attached sidewalk and 6 foot high decorative screen wall is located along Westwind Road. Additional landscape areas consisting of trees, shrubs, and groundcover are provided along a portion of the north, south, and west sides of the building and within the parking areas.

Elevations

The building has a flat roof behind parapet walls with a maximum height of 48 feet and is constructed of concrete tilt-up panels. The parapet walls will vary in height to break-up the roofline of the building along all elevations. On the north, west, and south elevations of the building the corners and middle portion of the building consist of aluminum storefront framing with windows and glass doors for potential office areas in conjunction with the distribution facility. The exterior walls will have reveals and earth tone color schemes that will break-up the wall surfaces and enhance the appearance of the building, in compliance with the CMA Design Overlay Standards. The plans depict a total of 49 roll-up doors for loading spaces located on the east side of the building, facing the existing distribution center to the east across Lindell Road.

Floor Plans

The building has a total area of 249,600 square feet with open warehouse area.

Signage

Signage is not a part of this request.

Applicant's Justification

The applicant indicates that the request conforms to the Enterprise Land Use Plan. The proposed plans and elevations are consistent with the objectives of the Comprehensive Master Plan and Title 30. Parking and landscaping exceed or meet Code minimums to provide the most positive impact to the visibility of the project and for the overall beautification of the site. The loading docks and outside storage area on the east side of the building have additional screening from Lindell Road as encouraged by the CMA Design Overlay Standards, and the building overall has

integrated building colors that unify the project, heights and articulation that are consistent with surrounding, existing buildings, and enhanced paving at all driveway entrances. The driveway throat depths are shown with 9 feet due to vehicular parking being located along the perimeter of the project. The overall increase to the grade of the site is up to 5 feet internal to the site and approximately 18 inches along the southern property line which should have no negative impact to the surrounding properties.

Prior Land Use Requests

Application Number	Request	Action	Date
WS-0800-15	Waiver of conditions of ZC-0231-08 and design review of an office warehouse building - expired	Approved by BCC	April 2016
ZC-0231-08	Reclassified 2.5 acres from R-E to M-D zoning with waivers for shared cross access easement with the adjacent lot for an office warehouse industrial building	Approved by BCC	April 2008
UC-1568-96	Constructed and built a 230/138kV power transmission line	Approved by BCC	November 1996

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Office Professional	R-E	Undeveloped
South	Business and Design/Research Park	M-D	Office warehouse & undeveloped
East	Business and Design/Research Park	M-D	Distribution center
West	Business and Design/Research Park	M-D & R-E	Office warehouse & undeveloped

Related Applications

Application Number	Request
VS-20-0069	A vacation and abandonment of easements is a companion item on this agenda.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

Analysis
Current Planning
Zone Change

This proposed office warehouse building and distribution center are within the range of intensity for uses under the Business and Design/Research Park category per the Enterprise Land Use Plan which makes this a conforming zone change. The adjacent parcels are planned or developed with similar uses; therefore, this facility is compatible with the adjacent developments and conforms to Urban Specific Goal 1 of the Comprehensive Master Plan to encourage compatible

development with adjacent land uses. The request is also compatible with Urban Specific Policy 96 to provide opportunities for Business and Design/Research Park development with limited points of ingress and egress on arterial or collector streets to reduce traffic congestion.

Waiver of Development Standards

According to Title 30, the applicant shall have the burden of proof to establish that the proposed request is appropriate for its existing location by showing that the uses of the area adjacent to the property included in the waiver of development standards request will not be affected in a substantially adverse manner. The intent and purpose of a waiver of development standards is to modify a development standard where the provision of an alternative standard, or other factors which mitigate the impact of the relaxed standard, may justify an alternative.

Design Reviews

The design of the proposed building is consistent in design to other industrial and manufacturing facilities in the area. Varying building heights, minimized visual impacts, and unifying site components are requirements of the CMA Design Overlay District. The varying heights of the parapet walls break-up the roofline of the building. The use of different colors and textures on the exterior walls minimize the visual impact of the building. Therefore, the project complies with the requirements of the CMA Design Overlay District. Additionally, the design of the facility complies with Urban Specific Policy 102 which encourages site designs to orient loading areas with roll-up doors and semi-truck parking to be screened from streets. Therefore, staff supports this request.

Public Works - Development Review

Waiver of Development Standards

The applicant worked with staff to provide extra landscaping areas adjacent to the Westwind Road entrances, which results in increased distance from the driveway to the first conflicting parking spaces. Additionally, the truck entrances on Lindell Road provide sufficient on-site area for trucks to safely exit the right-of-way to use the loading docks.

Design Review #1

This design review represents the maximum grade difference along the boundary of this application. This information is based on preliminary data to set the worst case scenario. Staff will continue to evaluate the site through the technical studies required for this application. Approval of this application will not prevent staff from requiring an alternate design to meet Clark County Code, Title 30, or previous land use approval.

Department of Aviation

The development will penetrate the 100:1 notification airspace surface for McCarran International Airport. Therefore, as required by 14 CFR Part 77, and Section 30.48.120 of the Clark County Unified Development Code, the Federal Aviation Administration (FAA) must be notified of the proposed construction or alteration.

Staff Recommendation

Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

- No Resolution of Intent and staff to prepare an ordinance to adopt the zoning;
- Certificate of Occupancy and/or business license shall not be issued without final zoning inspection.
- Applicant is advised that a subsequent land use application will be required for signage per the requirements of the CMA Design Overlay District; a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that the waiver of development standards and design reviews must commence within 2 years of approval date or they will expire.

Public Works - Development Review

- Drainage study and compliance;
- Drainage study must demonstrate that the proposed grade elevation differences outside that allowed by Section 30.32.040(a)(9) are needed to mitigate drainage through the site;
- Traffic study and compliance;
- Full off-site improvements;
- Right-of-way dedication to include 30 feet for Westwind Road, 55 feet to the back of curb for Sunset Road, 35 feet to the back of curb for Lindell Road, and associated spandrels.
- Applicant is advised that the installation of detached sidewalks will require dedication to back of curb and granting necessary easements for utilities, pedestrian access, streetlights, and traffic control; and that approval of this application will not prevent Public Works from requiring an alternate design to meet Clark County Code, Title 30, or previous land use approvals.

Department of Aviation

- Applicant is required to file a valid FAA Form 7460-1, "Notice of Proposed Construction or Alteration" with the FAA, in accordance with 14 CFR Part 77, or submit to the Director of Aviation a "Property Owner's Shielding Determination Statement" and request written concurrence from the Department of Aviation;
- If applicant does not obtain written concurrence to a "Property Owner's Shielding Determination Statement," then applicant must also receive either a Permit from the Director of Aviation or a Variance from the Airport Hazard Areas Board of Adjustment (AHABA) prior to construction as required by Section 30.48 Part B of the Clark County Unified Development Code;
- No building permits should be issued until applicant provides evidence that a "Determination of No Hazard to Air Navigation" has been issued by the FAA or a

"Property Owner's Shielding Determination Statement" has been issued by the Department of Aviation.

- Applicant is advised that the FAA's determination is advisory in nature and does not guarantee that a Director's Permit or an AIIABA Variance will be approved; that FAA's airspace determinations (the outcome of filing the FAA Form 7460-1) are dependent on petitions by any interested party and the height that will not present a hazard as determined by the FAA may change based on these comments; that the FAA's airspace determinations include expiration dates; and that separate airspace determinations will be needed for construction cranes or other temporary equipment.

Building Department - Fire Prevention

- No comment.

Clark County Water Reclamation District (CCWRD)

- Applicant is advised that a Point of Connection (POC) request has been completed for this project; to email sewerlocation@cleanwaterteam.com and reference POC Tracking #0066-2020 to obtain your POC exhibit; and that flow contributions exceeding CCWRD estimates may require another POC analysis.

TAB/CAC:

APPROVALS:

PROTESTS:

APPLICANT: JULIET COMPANINS

CONTACT: RIETZ CONSULTING, 3203 E. WARM SPRINGS RD., #400, LAS VEGAS, NV 89120



LAND USE APPLICATION 13A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input checked="" type="checkbox"/> ZONE CHANGE <input checked="" type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (NZC) <input type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input checked="" type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input checked="" type="checkbox"/> DESIGN REVIEW (DR) <input checked="" type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) _____ (ORIGINAL APPLICATION #)	STAFF	DATE FILED: <u>1/28/20</u> APP. NUMBER: <u>ZC-20-0068</u> PLANNER ASSIGNED: <u>JET</u> TAB/CAC: <u>ENTERPRISE</u> ACCEPTED BY: <u>JET</u> TAB/CAC MTG DATE: <u>2/26/20</u> TIME: <u>6pm</u> FEE: <u>\$ 2,200</u> PC MEETING DATE: _____ CHECK #: _____ BCC MEETING DATE: <u>3/18/20</u> <u>9am</u> COMMISSIONER: <u>MJ</u> ZONE / AE / RNP: <u>R-E(AE60) → MD(AE60)</u> OVERLAY(S)? <u>CMA</u> PLANNED LAND USE: <u>ENTERDRP</u> PUBLIC HEARING? <input checked="" type="checkbox"/> / <input type="checkbox"/> N NOTIFICATION RADIUS: <u>100</u> SIGN? <input checked="" type="checkbox"/> / <input type="checkbox"/> N TRAILS? <input checked="" type="checkbox"/> Y / <input type="checkbox"/> N PFNA? <input checked="" type="checkbox"/> Y / <input type="checkbox"/> N LETTER DUE DATE: <u>N/A</u> APPROVAL/DENIAL BY: <u>N/A</u> COMMENCE/COMPLETE: <u>N/A</u>
PROPERTY OWNER	NAME: <u>SUNSET VIEW, LLC</u> ADDRESS: <u>7452 GRASSY FIELD COURT</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89131</u> TELEPHONE: _____ CELL: _____ E-MAIL: _____	
APPLICANT	NAME: <u>JULIET COMPANIES</u> ADDRESS: <u>8375 W. FLAMINGO ROAD, SUITE 200</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89147</u> TELEPHONE: <u>702.368.5800</u> CELL: _____ E-MAIL: <u>john@julietlasvegas.com</u> REF CONTACT ID #: _____	
CORRESPONDENT	NAME: <u>RIETZ CONSULTING, INC</u> ADDRESS: <u>3203 E. EAST WARM SPRINGS ROAD #400</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89120</u> TELEPHONE: <u>702.521.3355</u> CELL: <u>SAME</u> E-MAIL: <u>eric.rietz@rietzconsulting</u> REF CONTACT ID #: _____	

ASSESSOR'S PARCEL NUMBER(S): 176-01-102-003 & 004

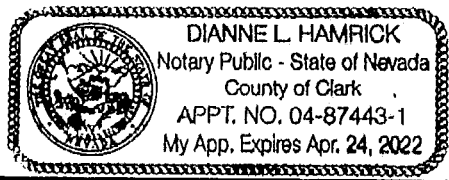
PROPERTY ADDRESS and/or CROSS STREETS: SUNSET ROAD / LINDELL ROAD

PROJECT DESCRIPTION: DISTRIBUTION CENTER (conforming to Master Planned Land Use - BDRP)

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application

DHAVAL SHAH
 Property Owner (Signature)* Property Owner (Print)

STATE OF NEVADA
 COUNTY OF CLARK
 SUBSCRIBED AND SWORN BEFORE ME ON 01/23/2020 (DATE)
 By DHAVAL SHAH
 NOTARY PUBLIC:



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



LAND USE APPLICATION

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input checked="" type="checkbox"/> ZONE CHANGE <input type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (Nzc) <input type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input checked="" type="checkbox"/> DESIGN REVIEW (DR) <input type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) _____ (ORIGINAL APPLICATION #)	STAFF	DATE FILED: _____ PLANNER ASSIGNED: _____ ACCEPTED BY: _____ FEE: _____ CHECK #: _____ COMMISSIONER: _____ OVERLAY(S)? _____ PUBLIC HEARING? Y / N TRAILS? Y / N PFNA? Y / N APPROVAL/DENIAL BY: _____	APP. NUMBER: <u>20-20-0068</u> TAB/CAC: _____ TAB/CAC MTG DATE: _____ TIME: _____ PC MEETING DATE: _____ BCC MEETING DATE: _____ ZONE / AE / RNP: _____ PLANNED LAND USE: _____ NOTIFICATION RADIUS: _____ SIGN? Y / N LETTER DUE DATE: _____ COMMENCE/COMPLETE: _____
	PROPERTY OWNER	NAME: <u>JOHN CUVA</u> ADDRESS: <u>8737 ISOLA DRIVE</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89117</u> TELEPHONE: _____ CELL: _____ E-MAIL: <u>ORENRELV@GMAIL.COM</u>	
	APPLICANT	NAME: <u>JULIET COMPANIES, LLC</u> ADDRESS: <u>8375 W. FLAMINGO ROAD, SUITE 200</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89147</u> TELEPHONE: <u>702.368.5800</u> CELL: _____ E-MAIL: <u>john@julietlasvegas.com</u> REF CONTACT ID #: _____	
	CORRESPONDENT	NAME: <u>RIETZ CONSULTING, INC</u> ADDRESS: <u>3203 E. EAST WARM SPRINGS ROAD #400</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89120</u> TELEPHONE: <u>702.521.3355</u> CELL: <u>SAME</u> E-MAIL: <u>eric.rietz@rietzconsulting.com</u> REF CONTACT ID #: _____	

ASSESSOR'S PARCEL NUMBER(S): 176-01-102-006

PROPERTY ADDRESS and/or CROSS STREETS: SUNSET ROAD / LINDELL ROAD

PROJECT DESCRIPTION: DISTRIBUTION CENTER (conforming to Master Planned Land Use - BDRP)

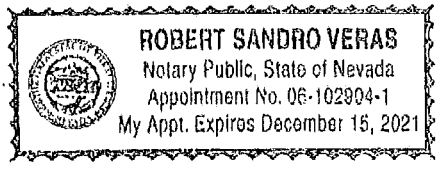
(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

 Property Owner (Signature)*

 Property Owner (Print)

STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON Jan 22, 2020 (DATE)
 By John A. Cueva
 NOTARY PUBLIC: Robert S. Veras



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



LAND USE APPLICATION

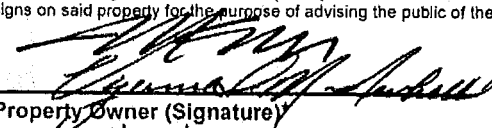
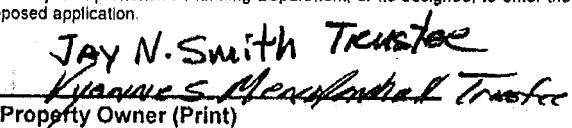
CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input checked="" type="checkbox"/> ZONE CHANGE <input type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (NZC) <input type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input checked="" type="checkbox"/> DESIGN REVIEW (DR) <input type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) _____ (ORIGINAL APPLICATION #)	STAFF	DATE FILED: _____ APP. NUMBER: <u>ZC-20-0068</u> PLANNER ASSIGNED: _____ TAB/CAC: _____ ACCEPTED BY: _____ TAB/CAC MTG DATE: _____ TIME: _____ FEE: _____ PC MEETING DATE: _____ CHECK #: _____ BCC MEETING DATE: _____ COMMISSIONER: _____ ZONE / AE / RNP: _____ OVERLAY(S)? _____ PLANNED LAND USE: _____ PUBLIC HEARING? Y / N NOTIFICATION RADIUS: _____ SIGN? Y / N TRAILS? Y / N PFNA? Y / N LETTER DUE DATE: _____ APPROVAL/DENIAL BY: _____ COMMENCE/COMPLETE: _____
	PROPERTY OWNER	NAME: <u>JTS TR and Robert T. & Yvonne S. Mendenhall Family TR</u> ADDRESS: <u>8240 HICKAM AVENUE</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89129</u> TELEPHONE: <u>702.251.5800</u> CELL: _____ E-MAIL: <u>Jay.Smith@lasvegaspaving.com</u>
	APPLICANT	NAME: <u>JULIET COMPANIES, LLC</u> ADDRESS: <u>8375 W. FLAMINGO ROAD, SUITE 200</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89147</u> TELEPHONE: <u>702.368.5800</u> CELL: _____ E-MAIL: <u>john@julietlasvegas.com</u> REF CONTACT ID #: _____
	CORRESPONDENT	NAME: <u>RIETZ CONSULTING, INC</u> ADDRESS: <u>3203 E. EAST WARM SPRINGS ROAD #400</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89120</u> TELEPHONE: <u>702.521.3355</u> CELL: <u>SAME</u> E-MAIL: <u>eric.rietz@rietzconsulting.com</u> REF CONTACT ID #: _____

ASSESSOR'S PARCEL NUMBER(S): 176-01-102-007
 PROPERTY ADDRESS and/or CROSS STREETS: SUNSET ROAD / LINDELL ROAD
 PROJECT DESCRIPTION: DISTRIBUTION CENTER (conforming to Master Planned Land Use - BDRP)

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.



 Property Owner (Signature) Property Owner (Print)

STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON 1/24/20 (DATE)
 By Jay N. Smith and Yvonne S. Mendenhall
 NOTARY PUBLIC: Kim Lovelady

NOTARY PUBLIC
 STATE OF NEVADA
 County of Clark
 KIM LOVELADY
 Appt. No. 08-105290-1
 My Appl. Expires May 10, 2022

*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



LAND USE APPLICATION

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

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	PROPERTY OWNER	NAME: <u>SDVQ, LLC</u> ADDRESS: <u>4555 PROCYON STREET</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89103</u> TELEPHONE: _____ CELL: _____ E-MAIL: _____	
	APPLICANT	NAME: <u>JULIET COMPANIES, LLC</u> ADDRESS: <u>8375 W. FLAMINGO ROAD #200</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89147</u> TELEPHONE: <u>702.368.5800</u> CELL: _____ E-MAIL: <u>john@julietlasvegas.com</u> REF CONTACT ID #: _____	
	CORRESPONDENT	NAME: <u>RIETZ CONSULTING, INC</u> ADDRESS: <u>3203 E. EAST WARM SPRINGS ROAD #400</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89120</u> TELEPHONE: <u>702.521.3355</u> CELL: <u>SAME</u> E-MAIL: <u>eric.rietz@rietzconsulting.com</u> REF CONTACT ID #: _____	

ASSESSOR'S PARCEL NUMBER(S): 176-01-102-010

PROPERTY ADDRESS and/or CROSS STREETS: SUNSET ROAD / LINDELL ROAD

PROJECT DESCRIPTION: DISTRIBUTION CENTER (conforming to Master Planned Land Use - BDRP)

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code, that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

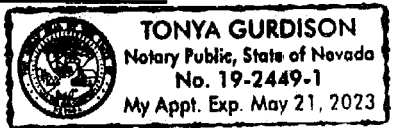
[Signature]
Property Owner (Signature)*

Steve Kean
Property Owner (Print)

STATE OF Nevada
COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON January 22, 2020 (DATE)

By Stephen Kean
NOTARY PUBLIC: _____



*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



LAND USE APPLICATION

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

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	PROPERTY OWNER	NAME: <u>SUNBURST 215, LLC</u> ADDRESS: <u>5626 RAFAEL RIVERA WAY</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89118</u> TELEPHONE: <u>702.870.4488</u> CELL: _____ E-MAIL: <u>ktaylor@sunburstshutters.com</u>	
	APPLICANT	NAME: <u>JULIET COMPANIES, LLC</u> ADDRESS: <u>8375 W. FLAMINGO ROAD, SUITE 200</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89147</u> TELEPHONE: <u>702.368.5800</u> CELL: _____ E-MAIL: <u>john@julietlasvegas.com</u> REF CONTACT ID #: _____	
CORRESPONDENT	NAME: <u>RIETZ CONSULTING, INC</u> ADDRESS: <u>3203 E. EAST WARM SPRINGS ROAD #400</u> CITY: <u>LAS VEGAS</u> STATE: <u>NV</u> ZIP: <u>89120</u> TELEPHONE: <u>702.521.3355</u> CELL: <u>SAME</u> E-MAIL: <u>eric.rietz@rietzconsulting.com</u> REF CONTACT ID #: _____		

ASSESSOR'S PARCEL NUMBER(S): 176-01-102-017
 PROPERTY ADDRESS and/or CROSS STREETS: SUNSET ROAD / LINDELL ROAD
 PROJECT DESCRIPTION: DISTRIBUTION CENTER (conforming to Master Planned Land Use - BDRP)

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

 Property Owner (Signature)*

KURT TAYLOR, MANAGER
 Property Owner (Print)

STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON January 27, 2020 (DATE)
 By Kurt Taylor

NOTARY PUBLIC: Lisa D. Milano-Medina

Notary Public - State Of Nevada
 County Of Clark
LISA D. MILANO-MEDINA
 NO: 09-11001-1
 My Appointment Expires
SEPTEMBER 9, 2021

*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.



January 20, 2020

Clark County
Comprehensive Planning Department
500 S. Grand Central Parkway
Las Vegas, NV 89106

RE: Project Description and Justification Letter for proposed distribution center located at the SWC of Sunset Road and Lindell Road to be known as the Sunset Logistics Center

Dear Mr. Tasko:

Thank you in advance for your review and consideration of our proposed distribution center project located at the SWC of Sunset Road and Lindell Road (the "Project") to be known as the Sunset Logistics Center. We are pleased to submit this Justification Letter in support of the Project.

We are proposing to develop one (1) distribution center building totaling approximately 249,600 sf on approximately 14.2 gross acres, bearing APN's 176-01-102-003, -004, -006, -007, -010, & -017 located in Clark County, Nevada (the "Property"). Prospective tenants and their uses will be those that conform to the requirements of the Designed Manufacturing zoning designation.

The intent of this Application is to request a Conforming Zone Change, Design Review and two (2) Waivers of Development Standards for the Project, as well as an accompanying Vacation application for the vacation of patent easements and other existing easements not applicable to the proposed project. Accordingly, we have included the proposed site plan, floor plan, elevations, landscape plan, and other required materials for your review and consideration.

Regarding the Conforming Zone Change, the Property is currently zoned Rural Estates (R-E), and Designed Manufacturing (M-D). The Property has a master planned land use designation of Business and Design Research Park.

Regarding the Design Review request, you will note that the proposed plans and elevations are consistent the objectives of Title 30 and the Comprehensive Plan. Please note that the parking count provided exceeds that required by code. Additionally, you will note that number of landscaping shrubs and trees meet code requirements and have been located to provide the most positive impact to the visibility of the Project and for the overall beautification and balance of the Project. Lastly, the proposed Project is located in the Cooperative Management Agreement (CMA) Area Design Overlay District. As such, the Project has been designed with the following:

- Appropriate screening of outside storage areas, loading areas, and semi-truck parking with a six-foot high decorative, split-face block wall and large trees every ten feet (20 feet on center alternating on both sides of detached sidewalk) along Lindell Road.
- Integrated building colors that unify the Project.
- Buildings heights consistent with surrounding, existing buildings.
- Building articulation (pop-outs, recesses, varied rooflines) and design features such as enhanced roof elements.
- Enhanced paving sections at all drive entrances.

Regarding the Waiver of Development Standards, we respectfully the following:

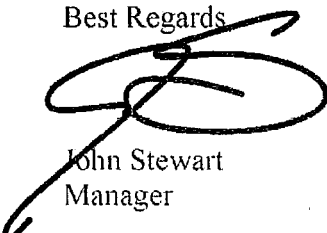
DESIGN REVIEW

1. Allow fill (grading) of up to five 5 feet on the Property in low spots on the interior of the Property. The proposed fill of up to 5 feet will not negatively impact the surrounding area. Along the perimeter along Westwind Road, Sunset Road, and Lindell Road, the proposed project matches existing grades. Along the southern property line, the proposed project will have less that eighteen inches (18") of fill, which meets code requirements.
2. Allow for throat depth waivers at drive entrances to the center due to vehicular parking being located along the perimeter of the project. Mitigating factors for such include removal of parking spaces at drive entrances to allow for longer drive aisles into the project without competing traffic movements.

REQUIRED = 50' JB
REQUESTED = 9'

Thank you in advance for your time and consideration, and we look forward to addressing any additional questions or comments.

Best Regards


John Stewart
Manager

SINGLE FAMILY DEVELOPMENT
(TITLE 30)

JONES BLVD/ROBINDALE RD

PUBLIC HEARING

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST

ZC-20-0085-L H VENTURES, LLC:

ZONE CHANGE to reclassify 5.0 acres from R-E (Rural Estates Residential) Zone to R-2 (Medium Density Residential) Zone.

WAIVERS OF DEVELOPMENT STANDARDS for the following: 1) increase wall height; 2) increase building height; 3) allow alternative street landscaping; and 4) reduce street intersection off-set.

DESIGN REVIEW for a single family residential development.

Generally located on the west side of Jones Boulevard and the north side of Robindale Road within Enterprise (description on file). MN/m/jd (For possible action)

RELATED INFORMATION:

APN:

176-11-601-018

WAIVERS OF DEVELOPMENT STANDARDS:

- Increase block wall height to 6 feet 8 inches where 6 feet is the allowed per Section 30.64.020 (an 11% increase).
- Increase building height to 37 feet 6 inches where 35 feet is the maximum per Table 30.40-3 (a 7.2% increase).
- Allow alternative street landscaping with an attached sidewalk along a portion of Jones Boulevard and Robindale Road where landscaping with a detached sidewalk is required per Figure 30.64-17.
- Reduce the street intersection off-set to 95 feet where 125 feet is required per Uniform Standard Drawing 222.1 (a 24% reduction).

LAND USE PLAN:

ENTERPRISE - RESIDENTIAL SUBURBAN (UP TO 8 DU/AC)

BACKGROUND:

Project Description

General Summary

- Site Acreage: 5
- Number of Lots: 33
- Density (du/ac): 6.6

- Minimum/Maximum Lot Size (square feet)/3,308 (net)/5,009 (net)
- Project Type: Single family residential development
- Number of Stories: 3
- Building Height: 37 feet, 6 inches
- Square Feet: 2,018 to 3,026

Site Plans

The plans depict a single family residential development consisting of 33 residential lots on 5 acres at a density of 6.6 dwelling units per acre. The subdivision accesses Robindale Road with a 42 foot wide private street going north to south with 3 stub streets extending east from the proposed north/south street. The southerly stub street (Barcola Court) is off-set from Robindale Road by 95 feet.

Landscaping

Street landscaping consists of a 10 foot wide landscape area which includes an attached sidewalk along Robindale Road and Jones Boulevard. In addition, the east side of the entrance will be landscaped. Internal to the site landscaping is shown on the east side of the spine street and on 1 side of the northerly stub street on the west end.

Elevations

Five different model home plans with 3 to 4 separate elevations per plan are offered by the developer. Of these 5 plans, 2 are 2 stories while the remaining 3 plans are a 3 story model. Two of the 3 story models exceed the height requirements of the R-2 zoning district (35 feet), and offers an optional front balcony on the second and third levels for a maximum overall height up to 37 feet 6 inches. The building materials consist of concrete tile roofs, stone veneer, and stucco finished walls with decorative pop-outs, wrought iron railing, and fenestration on windows and doors on all sides of the residential models.

Floor Plans

The homes will range in size from 2,018 square feet to 3,026 square feet with 2 car garages and bonus room options.

Applicant's Justification

The applicant states the request to R-2 zoning is appropriate since it is in conformance with the Enterprise Land Use Plan and is consistent in lot size and density with the surrounding properties. The applicant indicates that the increased wall height between the proposed residential lots is a standard provided by this developer for additional privacy to the future residents. The increased building height on the 3 story products is to provide a 9 foot ceiling height in all levels of the product. The applicant indicates that there are attached sidewalks for the residential developments to the north on Jones Boulevard and to the west on Robindale Road. Due to the required street dedication for Robindale Road and utilizing 42 foot wide private streets the subdivision is designed with 1 row of homes adjacent to Robindale Road, and the lots are approximately 85 feet deep with an additional 10 foot landscape area which creates the reduced street intersection off-set.

Prior Land Use Requests

Application Number	Request	Action	Date
UC-0643-04	Convenience store with design review for a shopping center and waiver of condition of ZC-0956-03 requiring redesign of the retail building - expired	Approved by BCC	July 2004
ZC-0956-03	Reclassified 5 acres to C-2 zoning for a shopping center & convenience store - expired	Approved by BCC	September 2003

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Residential Suburban (up to 8 du/ac)	R-3	Single family residential
South & East	Residential High (up to 18 du/ac)	R-3	Multi-family residential
West	Residential Suburban (up to 8 du/ac)	R-2	Single family residential

The immediate area is within the Public Facilities Needs Assessment (PFNA) area.

Related Applications

Application Number	Request
VS-20-0086	A vacation and abandonment of easements is a companion item on this agenda.
TM-20-500025	A tentative map for a 33 lot single family residential development is a companion item on this agenda.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

**Analysis
Current Planning
Zone Change**

This zone change request is conforming to the Enterprise Land Use Plan which designates this site as Residential Suburban for densities up to 8 dwelling units per acre. The proposed project will have a density of 6.6 dwelling units per acre. The single family residential development is compatible and consistent with the planned and existing uses in the immediate area. The request complies with Housing Policy 2 of the Comprehensive Master Plan to promote a mix of housing types that meet the diverse needs of the community. Therefore, staff can support the zone change request.

Waivers of Development Standards

According to Title 30, the applicant shall have the burden of proof to establish that the proposed request is appropriate for its existing location by showing that the uses of the area adjacent to the property included in the waiver of development standards request will not be affected in a

substantially adverse manner. The intent and purpose of a waiver of development standards is to modify a development standard where the provision of an alternative standard, or other factors which mitigate the impact of the relaxed standard, may justify an alternative.

Waiver of Development Standards#1

Staff has supported similar waivers to increase wall height when the additional height will not adversely impact the surrounding area. Staff does not find that the requested increased wall height will adversely impact the surrounding area. Therefore, staff can support this request.

Waiver of Development Standards#2

Staff finds the proposed increase in height is minimal and will not have an adverse effect on the abutting developments which are 2 story homes with some models having an overall height of up to 27 feet. Additionally, the balconies are shown to be on the front elevation of the residences, so that there should be minimal impact to the existing neighboring properties. A similar increase in height allowance (VC-0159-13) was approved to 38 feet for 3 story homes on the southeast corner of Windmill Lane and Jones Boulevard (approximately half a mile southeast). Staff recommends approval.

Waiver of Development Standards#3

Alternative street landscaping along Jones Boulevard and Robindale Road, staff does not support this request as detached sidewalks provides an added amenity to the street scape and provides additional buffer for pedestrians along collector and arterial streets. Therefore, staff cannot support this request.

Design Review

The design of the subdivision is similar to approved and planned land uses in the area and complies with Urban Specific Policy 10 which encourages site designs to be compatible with adjacent land uses and off-site circulation patterns. The design of the elevations and floor plans comply with Urban Specific Policy 43 by providing a variety of elevations with articulated building facades. Staff could support this portion of the request; however, since waiver of development standards #3 is not being supported, staff cannot support the design review.

Public Works - Development Review

Waiver of Development Standards #4

Staff cannot support the reduction in the street intersection offset since it is a self-imposed hardship that could be addressed with a site redesign. Since the reduction in the offset is from a collector street, it is imperative that the minimum standard is met to ensure public safety.

Department of Aviation

The development will penetrate the 100:1 notification airspace surface for McCarran International Airport. Therefore, as required by 14 CFR Part 77, and Section 30.48.120 of the Clark County Unified Development Code, the Federal Aviation Administration (FAA) must be notified of the proposed construction or alteration.

Staff Recommendation

Approval of zone change, waivers of development standards #1 and #2; denial of waivers of development standards #3 and #4, and design review.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

If approved:

- No Resolution of Intent and staff to prepare an ordinance to adopt the zoning;
- Enter into a standard development agreement prior to any permits or subdivision mapping in order to provide fair-share contribution toward public infrastructure necessary to provide service because of the lack of necessary public services in the area;
- Certificate of Occupancy and/or business license shall not be issued without final zoning inspection.
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that the waivers of development standards and design review must commence within 4 years of approval date or they will expire.

Public Works - Development Review

- Drainage study and compliance;
- Traffic study and compliance;
- Full off-site improvements;
- Right-of-way dedication to include 50 feet for Jones Boulevard, 40 feet for Robindale Road, and associated spandrel.
- Applicant is advised that Lot 1 may not meet the minimum standard for the separation from the BCR to the driveway.

Building Department - Fire Prevention

- No comment.

Department of Aviation

- Applicant is required to file a valid FAA Form 7460-1, "Notice of Proposed Construction or Alteration" with the FAA, in accordance with 14 CFR Part 77, or submit to the Director of Aviation a "Property Owner's Shielding Determination Statement" and request written concurrence from the Department of Aviation;
- If applicant does not obtain written concurrence to a "Property Owner's Shielding Determination Statement," then applicant must also receive either a Permit from the Director of Aviation or a Variance from the Airport Hazard Areas Board of Adjustment

(AHABA) prior to construction as required by Section 30.48 Part B of the Clark County Unified Development Code;

- No building permits should be issued until applicant provides evidence that a "Determination of No Hazard to Air Navigation" has been issued by the FAA or a "Property Owner's Shielding Determination Statement" has been issued by the Department of Aviation.
- Applicant is advised that the FAA's determination is advisory in nature and does not guarantee that a Director's Permit or an AHABA Variance will be approved; that FAA's airspace determinations (the outcome of filing the FAA Form 7460-1) are dependent on petitions by any interested party and the height that will not present a hazard as determined by the FAA may change based on these comments; that the FAA's airspace determinations include expiration dates; and that separate airspace determinations will be needed for construction cranes or other temporary equipment.

Clark County Water Reclamation District (CCWRD)

- Applicant is advised that a Point of Connection (POC) request has been completed for this project; to email sewerlocation@cleanwaterteam.com and reference POC Tracking #0064-2020 to obtain your POC exhibit; and that flow contributions exceeding CCWRD estimates may require another POC analysis.

TAB/CAC:

APPROVALS:

PROTESTS:

APPLICANT: AMERICAN WEST DEVELOPMENT

CONTACT: WESTWOOD PROFESSIONAL SERVICES, 5740 S. ARVILLE STREET,
SUITE 216, LAS VEGAS, NV 89118



LAND USE APPLICATION 14A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input checked="" type="checkbox"/> ZONE CHANGE <u>1050</u> <input checked="" type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (NZC) <input type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input checked="" type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <u>475</u> <input checked="" type="checkbox"/> DESIGN REVIEW (DR) <u>675</u> <input type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) (ORIGINAL APPLICATION #)	STAFF	DATE FILED: <u>1/30/20</u> APP. NUMBER: <u>ZC-20-0085</u> PLANNER ASSIGNED: <u>JCT</u> TAB/CAC: <u>ENTERPRISE</u> ACCEPTED BY: <u>JCT</u> TAB/CAC MTG DATE: <u>2/26</u> TIME: <u>6pm</u> FEE: <u>\$2,200</u> PC MEETING DATE: _____ CHECK #: <u>100601/100602/100603</u> BCC MEETING DATE: <u>3/18/20</u> <u>9a</u> COMMISSIONER: <u>MN</u> ZONE / AE / RNP: <u>R-E</u> OVERLAY(S)? _____ PLANNED LAND USE: <u>ENTRS</u> PUBLIC HEARING? <u>(Y/N)</u> NOTIFICATION RADIUS: <u>1,000</u> SIGN? <u>(Y/N)</u> TRAILS? <u>(Y/N)</u> PFNA? <u>(Y/N)</u> LETTER DUE DATE: <u>N/A</u> APPROVAL/DENIAL BY: <u>N/A</u> COMMENCE/COMPLETE: <u>N/A</u>
PROPERTY OWNER	NAME: <u>LH Ventures, LLC</u> ADDRESS: <u>250 Pilot Road</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89119</u> TELEPHONE: <u>702 736-6434</u> CELL: _____ E-MAIL: <u>kendra.saffle@pultegroup.com</u>	
APPLICANT	NAME: <u>American West Development Inc</u> ADDRESS: <u>250 Pilot Road</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89119</u> TELEPHONE: <u>702 736-6434</u> CELL: _____ E-MAIL: <u>kendra.saffle@pultegroup</u> REF CONTACT ID #: _____	
CORRESPONDENT	NAME: <u>Westwood Professional Services</u> ADDRESS: <u>5740 S Arville Street, Suite 216</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89118</u> TELEPHONE: <u>702 284-5300</u> CELL: _____ E-MAIL: <u>lvproc@westwoodps.com</u> REF CONTACT ID #: <u>188046</u>	

ASSESSOR'S PARCEL NUMBER(S): 176-11-601-018

PROPERTY ADDRESS and/or CROSS STREETS: Robindale & Jones

PROJECT DESCRIPTION: Single Family Residential Subdivision

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

Property Owner (Signature)* Property Owner (Print)

STATE OF Nevada
 COUNTY OF Clark

SUBSCRIBED AND SWORN BEFORE ME ON 1/13/2020 (DATE)
 By Jeffrey L. Canarelli
 NOTARY PUBLIC:

KENDRA D. SAFFLE
 Notary Public, State of Nevada
 No. 95-1388-1
 My Appt. Exp. Sep. 21, 2021

*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.

Westwood

5740 S. Arville St., Suite 216
Las Vegas, NV 89118

Phone (702) 284-5300

Westwoodps.com
(888) 937-5150

30 January 2020

Current Planning Division
500 South Grand Central Parkway
Las Vegas, NV 89155-4000

**Re: Robindale Jones - Justification Letter for Waiver of Development Standards, Design Review and Zone Change
Westwood Project No. AWD1908-000**

To Whom It May Concern,

Westwood Professional Services, on behalf of our client, American West Development, respectfully submits this application for a Waiver of Development Standards, Design Review and Zone Change.

The project site associated with the subject is approximately 5.0± gross acres and covers APN 176-11-601-018. It is located in a portion of Section 11, Township 22 South, Range 60 East, M.D.M., Clark County, Nevada. This proposed community will be a single-family subdivision with 33 lots with a gross density of 6.6 dwelling units per acre.

The proposed zone change would modify the zoning from the parcels current zoning of R-E to a designation of R-2. The proposed community has been designed to complement the surrounding subdivisions. AWD feels that the proposed project will blend well with the surrounding developments and that the change to R-2 is a good transition from the higher density residential to the east and south and will blend nicely with the single family subdivisions to the north and west of this site.

The proposed community is a residential subdivision with 33 single family homes on approximately 5.0+ gross acres, with a gross density of 6.6 dwelling units per acre. In this development, American West Development will offer 5 different house plans with 3 separate elevations per plan. Of these 5 house plans, three plans are 2-stories tall while the remaining two plans are 3-stories tall. House sizes ranges from 2,018 s.f. to 3,026 s.f., with the target buyer being young families and second home buyers.

Waiver of Standards

The project is being processed as a Single Family Detached Residential development in accordance with Title 30. This request is to define waivers of Title 30 and CCAUSD for the project needed to develop the site and anticipated product.

1. Section 30.64.020 -- Fences and Walls

Waiver: 6-foot Walls.

Request: Allow 6-foot 8-inch rear screen wall between lots and along the perimeter of the development

Justification: This is a standard waiver that American West Development requests with all of their subdivisions to provide additional privacy to the potential home buyers throughout the development.

2. Section 30.40-2 – Property Development Standards Bulk Matrix

Waiver: 35-foot building height for principal structures

Request: Allow 38-foot building height for principal structures

Justification: This additional height will allow American West Development to provide a 9-foot ceiling height in all levels of their previously approved floor plans for their 3-story product. This is a standard waiver that American West Development requests for their subdivisions. This request is less than a 10% increase in height and will allow them to provide more options for potential buyers with additional products.

3. Clark County Title 30 Development Code, Figure 30.64-17

Waiver: 15.0' landscape area with detached sidewalk

Request: 10.0' landscape area with attached sidewalk (33% reduction)

Justification: American West Development is requesting this reduction along Jones Boulevard in order to match the aesthetics of existing neighboring subdivisions to the north and west that this project will connect with. The request for 10-feet of landscape behind walk will match the existing landscape area to the north along Jones and will be consistent with 30.64-9, which actually provides a more useful landscape area when compared to the typical 15-foot landscape area along a collector with detached sidewalk.

4. Section 30.52.052C. – Street Configuration in Residential Subdivisions

Waiver: 125- feet offset measured from right-of-way to right-of-way.

Request: 95-feet

Justification: This request is to allow the offset to be reduced to approximately 95-feet from the existing Robindale Rd, to the proposed Barcola Ct. Robindale Rd. is an 80-foot wide public right-of-way while Barcola Ct is a 42-foot wide private street within the proposed development. Barcola Ct is the first street inside the development and the homes long the south side of the street will back up to Robindale Rd. These lots

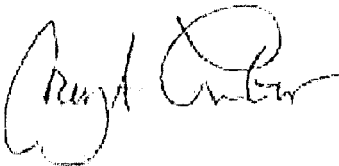
January 30, 2020
Page 3

are approximately 85 feet deep with an additional 10 foot landscape area adjacent to Robindale Rd, creating the request for the reduced intersection offset. The land use and lot sizes are in conformance with the zoning requirements of the development code and the adjacent properties; therefore this request is reasonable.

Please contact me if you have any questions.

Sincerely,

WESTWOOD PROFESSIONAL SERVICES

A handwritten signature in black ink, appearing to read "Corey Lieber". The signature is fluid and cursive, with the first name "Corey" and last name "Lieber" clearly distinguishable.

Corey Lieber, PE #15875, Project Manager

Cc: Kendra Saffle, American West Development;
Chelsea Jensen, Westwood Professional Services

03/18/20 BCC AGENDA SHEET

MULTIPLE FAMILY
RESIDENTIAL DEVELOPMENT
(TITLE 30)

LAS VEGAS BLVD S/NEAL AVE

PUBLIC HEARING
APP. NUMBER/OWNER/DESCRIPTION OF REQUEST
ZC-20-0101-LA BREA EQUITY VENTURE, LLC:

ZONE CHANGE to reclassify 13.1 acres from R-E (Rural Estates Residential) Zone and H-2 (General Highway Frontage) Zone to H-1 (Limited Resort and Apartment) Zone.

USE PERMIT for multiple family residential development.

WAIVER OF DEVELOPMENT STANDARDS reduce throat depth for visitor call box

DESIGN REVIEW for a multiple family residential development.

Generally located on the west side of Las Vegas Boulevard South, 470 feet south of Neal Avenue within Enterprise (description on file). MN/jt/jd (For possible action)

RELATED INFORMATION:

APN:
191-05-601-015

WAIVER OF DEVELOPMENT STANDARDS:

1. a. Reduce throat depth for visitor call box on Las Vegas Boulevard South to 94 feet where 100 feet is the minimum per Uniform Standard Drawing 222.1 (a 6% reduction).
- b. Reduce throat depth for visitor call box on Parvin Street to 52 feet where 100 feet is the minimum per Uniform Standard Drawing 222.1 (a 48% reduction).

LAND USE PLAN:
ENTERPRISE - COMMERCIAL TOURIST

BACKGROUND:
Project Description

General Summary

- Site Address: N/A
- Site Acreage: 13.1
- Number of Units: 312
- Density (du/ac): 23.8
- Project Type: Multiple family residential development
- Number of Stories: 3
- Building Height (feet): 39
- Square Feet: 342,286

- Open Space Required/Provided (square feet): 31,200/46,675
- Parking Required/Provided: 504/504

Site Plan

The site plan depicts a multiple family complex with gated ingress/egress from both the east property line along Las Vegas Boulevard South and the west property line along Parvin Street. A clubhouse with a pool/amenity area is located near the central portion of the site and adjacent to the main access from Las Vegas Boulevard South. Thirteen apartment buildings are arranged in a grid throughout the site, and approximate setbacks for the buildings include 47 feet to the east along Las Vegas Boulevard South, 15 feet to the north property line, 18 feet to the south property line, and 25 feet to the west property line along Parvin Street. Drive aisles and parking spaces are arranged around the perimeter of the site and between the apartment buildings. Many of the parking spaces are covered with carports, and trash enclosures are located throughout the site. Located near the center of the site, open space includes a pool, a sport court, and dog park.

Landscaping

Street landscaping along Las Vegas Boulevard South includes over 40 feet of landscaping with a detached sidewalk. The 40 feet of landscaping includes a 6 foot high wrought iron fence with CMU pilasters adjacent to the back of a 5 foot wide landscape strip behind the detached sidewalk, and the landscaping extends another 30 feet behind the fence. Both the north and south property lines include the 6 foot high wrought iron fence with CMU pilasters; however, the north property line has a 10 foot wide landscape strip behind the fence, and the south property line has a 15 foot wide landscape strip behind the fence. Landscaping along Parvin Street includes an attached sidewalk with a 10 foot wide landscape strip, a 6 foot high wrought iron fence with CMU pilasters, and an additional 15 feet of landscaping. Internal to the site, landscaping is included around the buildings, around the open space amenities, and throughout the parking lot.

Elevations

The clubhouse is 36 feet tall and includes a standing seam metal roof, parapet wall elements at different heights along the roofline, tile veneer, and stucco painted different shades of gray. The 3 story residential buildings are 30 feet tall and include parapet walls at different heights along the roofline, off-set surface planes to reduce the visual mass, metal railing, and stucco painted different shades of gray.

Floor Plans

Total square footage of the residential buildings is 299,016 square feet, which includes 216 studios/1 bedroom units, 84, two bedroom units, and 12, three bedroom units. The 8,827 square foot clubhouse includes a leasing lounge, offices, mailroom, juice bar, game room, exercise room, and restrooms.

Signage

Signage is not a part of this request.

Applicant's Justification

According to the applicant, H-1 zoning is appropriate at this location and compatible with other H-1 zoned properties in the area along Las Vegas Boulevard South. A use permit for a multiple family development in the H-1 zone is also compatible with the area and consistent with other similar multiple family complexes that have been approved in the H-1 zone. Furthermore, the applicant indicates that the project meets all parking, landscaping, and setback requirements. Lastly, the applicant states that the reduced distances for the call boxes on Parvin Street and Las Vegas Boulevard South are appropriate since, there are 2 access lanes for each entrance, which will provide additional queuing capacity. Also, both entrances to the complex combined will relieve queuing length as opposed to only having one entrance for the project.

Prior Land Use Requests

Application Number	Request	Action	Date
ZC-1213-04	Reclassified the site to C-2 zoning for future commercial use	Withdrawn	August 2004

Surrounding Land Use

	Planned Land Use Category	Zoning District	Existing Land Use
North	Commercial Tourist	H-1	Undeveloped (approved for a multiple family residential development)
South	Commercial Tourist	R-E & H-2	Undeveloped
East	Commercial Tourist	R-3	Developing multiple family residential development
West	Commercial Tourist	R-E	Single family residence & undeveloped

The subject site and surrounding area is located in the Public Facilities Needs Assessment (PNFA) area.

STANDARDS FOR APPROVAL:

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

**Analysis
Current Planning
Zone Change**

The zone change to H-1 is within the range of residential densities and non-residential intensities anticipated for this site within the Enterprise Land Use Plan. The site is located along Las Vegas Boulevard South, and H-1 zoning is intended to provide for the development of both commercial and residential uses. In addition, the adjacent property to the north is zoned H-1, and the surrounding undeveloped parcels are planned for Commercial Tourist uses. As a result, staff can support the request.

Use Permit

A use permit is a discretionary land use application that is considered on a case by case basis in consideration of Title 30 and the Comprehensive Master Plan. One of several criteria the applicant must establish is that the use is appropriate at the proposed location and demonstrate the use shall not result in a substantial or undue adverse effect on adjacent properties.

Staff can support the use permit for a multiple family development at this location since, it complies with Land Use Goal 7, which encourages housing alternatives to meet a range of lifestyle choices, ages, and affordability levels. In addition, the adjacent parcel to the north was approved for a similar multiple family complex. As a result, the request for a multiple family development at this location is compatible with adjacent uses as well as goals within the Comprehensive Master Plan.

Waiver of Development Standards

According to Title 30, the applicant shall have the burden of proof to establish that the proposed request is appropriate for its existing location by showing that the uses of the area adjacent to the property included in the waiver of development standards request will not be affected in a substantially adverse manner. The intent and purpose of a waiver of development standards is to modify a development standard where the provision of an alternative standard, or other factors which mitigate the impact of the relaxed standard, may justify an alternative.

Design Review

The proposed multiple family complex complies with several Urban Specific Policies including Policy 51, which encourages multiple family projects to include several amenities; Policy 55, which encourages spatial distribution rather than massing of buildings; and Policy 57, which encourages multiple family developments to be located near transit stops and road networks that can accommodate higher residential densities. Consistent with these policies, the project includes open space, a swimming pool, and a community center; the buildings are oriented at different directions to avoid a monotone linear pattern; and the location on Las Vegas Boulevard South includes access to transit options and a large road network to handle the additional density. Although several R-E zoned single family residences are located to the west and northwest, across Parvin Street, these properties are planned for Commercial Tourist uses, and they may eventually redevelop with other uses. In addition, the subject design includes appropriate height, setbacks, and landscaping to buffer the existing residences from the multiple family residential development. As a result, staff can support the request.

Public Works - Development Review

Waiver of Development Standards #1a

The applicant is proposing a throat depth of 94 feet to the call box from Las Vegas Boulevard South where a minimum of 100 feet is required. The reduction is negligible and therefore staff does not object to the reduction at this time, however a traffic study and queuing analysis will be required to determine if the proposed throat depth will meet safety standards.

Waiver of Development Standards #1b

Since Parvin Street will terminate adjacent to the subject site with an elbow into Loretta Lane, staff finds that the impact on traffic due to the reduced throat depth should not pose any safety

hazards. However, as mentioned above, the traffic study and queuing analysis will make the ultimate determination on the minimum requirements that are necessary for public safety.

Staff Recommendation
Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Master Plan, Title 30, and/or the Nevada Revised Statutes.

PRELIMINARY STAFF CONDITIONS:

Current Planning

- No Resolution of Intent and staff to prepare an ordinance to adopt the zoning;
- Enter into a standard development agreement prior to any permits or subdivision mapping in order to provide fair-share contribution toward public infrastructure necessary to provide service because of the lack of necessary public services in the area;
- Certificate of Occupancy and/or business license shall not be issued without final zoning inspection.
- Applicant is advised that a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; and the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; and that the use permit, waiver of development standards and design review must commence within 2 years of approval date or they will expire.

Public Works - Development Review

- Drainage study and compliance;
- Traffic study and compliance;
- Full off-site improvements;
- If the project is gated, queuing analysis and/or gate/callbox location must be approved by Public Works - Development Review Division;
- Right-of-way dedication and/or grant easements for Las Vegas Boulevard South to accommodate a proportionate share of a 200 foot wide right-of-way;
- Right-of-way dedication to include 30 feet for Parvin Street with a portion of an elbow at the intersection of Parvin Street and Loretta Lane.
- Applicant is advised that the dedication for Las Vegas Boulevard South may result in changes to the property lines and therefore landscaping, parking, throat depth, setbacks, and other standards may not be met; and that the installation of detached sidewalks will require dedication to back of curb and granting necessary easements for utilities, pedestrian access, streetlights, and traffic control.

Building Department - Fire Prevention

- No comment.

Clark County Water Reclamation District (CCWRD)

- Applicant is advised that a Point of Connection (POC) request has been completed for this project; to email sewerlocation@cleanwaterteam.com and reference POC Tracking #0067-2020 to obtain your POC exhibit; and that flow contributions exceeding CCWRD estimates may require another POC analysis.

TAB/CAC:

APPROVALS:

PROTESTS:

APPLICANT: CALIDA RESIDENTIAL, LLC

CONTACT: ANTHONY CELESTE, KAEMPFER CROWELL, 1980 FESTIVAL PLAZA DR., SUITE 650, LAS VEGAS, NV 89135

DRAFT



LAND USE APPLICATION 15A

CLARK COUNTY COMPREHENSIVE PLANNING DEPARTMENT

SEE SUBMITTAL REQUIREMENTS FORM FOR MORE INFORMATION

<input type="checkbox"/> TEXT AMENDMENT (TA) <input checked="" type="checkbox"/> ZONE CHANGE <input checked="" type="checkbox"/> CONFORMING (ZC) <input type="checkbox"/> NONCONFORMING (NZC) <input checked="" type="checkbox"/> USE PERMIT (UC) <input type="checkbox"/> VARIANCE (VC) <input checked="" type="checkbox"/> WAIVER OF DEVELOPMENT STANDARDS (WS) <input checked="" type="checkbox"/> DESIGN REVIEW (DR) <input checked="" type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ADMINISTRATIVE DESIGN REVIEW (ADR) <input type="checkbox"/> STREET NAME / NUMBERING CHANGE (SC) <input type="checkbox"/> WAIVER OF CONDITIONS (WC) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> ANNEXATION REQUEST (ANX) <input type="checkbox"/> EXTENSION OF TIME (ET) _____ (ORIGINAL APPLICATION #) <input type="checkbox"/> APPLICATION REVIEW (AR) _____ (ORIGINAL APPLICATION #)	STAFF	DATE FILED: <u>1/31/20</u> PLANNER ASSIGNED: <u>JET</u> ACCEPTED BY: <u>JET</u> FEE: <u>\$2,875</u> CHECK #: <u>ONLINE</u> COMMISSIONER: <u>MN</u> OVERLAY(S)? <u>—</u> PUBLIC HEARING? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N TRAILS? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N PFNA? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N APPROVAL/DENIAL BY: <u>—</u>	APP. NUMBER: <u>ZC-20-0101</u> TAB/CAC: <u>ENTERPRISE</u> TAB/CAC MTG DATE: <u>2/26</u> TIME: <u>6pm</u> PC MEETING DATE: <u>—</u> BCC MEETING DATE: <u>3/18/20</u> ZONE / AE / RNP: <u>RE/H2 → H-2</u> PLANNED LAND USE: <u>ENTCT</u> NOTIFICATION RADIUS: <u>1,000</u> SIGN? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N LETTER DUE DATE: <u>—</u> COMMENCE/COMPLETE: <u>—</u>
PROPERTY OWNER	NAME: <u>La Brea Equity Venture, LLC</u> ADDRESS: <u>468 N. Camden Dr. #300</u> CITY: <u>Beverly Hills</u> STATE: <u>CA</u> ZIP: <u>90212</u> TELEPHONE: <u>000-000-0000</u> CELL: <u>000-000-0000</u> E-MAIL: <u>n/a</u>		
APPLICANT	NAME: <u>Calida Residential, LLC</u> ADDRESS: <u>10777 W. Twain Avenue, Ste 115</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89135</u> TELEPHONE: <u>702-947-2000</u> CELL: <u>000-000-0000</u> E-MAIL: <u>jnelson@thecalidagroup.com</u> REF CONTACT ID #: <u>n/a</u>		
CORRESPONDENT	NAME: <u>Tony Celeste - Kaempfer Crowell (Ann's # 164674)</u> ADDRESS: <u>1980 Festival Plaza Dr. #650</u> CITY: <u>Las Vegas</u> STATE: <u>NV</u> ZIP: <u>89135</u> TELEPHONE: <u>702-792-7000</u> CELL: <u>000-000-0000</u> E-MAIL: <u>ajc@kcnvlaw.com</u> REF CONTACT ID #: <u>175451</u>		

ASSESSOR'S PARCEL NUMBER(S): 191-05-601-015

PROPERTY ADDRESS and/or CROSS STREETS: Las Vegas Boulevard and Neal

PROJECT DESCRIPTION: Conforming zone change for a proposed multi-family development

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

 Property Owner (Signature)* Joseph Deneshger
 Property Owner (Print)

STATE OF _____
 COUNTY OF _____

SUBSCRIBED AND SWORN BEFORE ME ON _____ (DATE)

By _____

NOTARY PUBLIC: attached.

*NOTE: Corporate declaration of authority (or equivalent), power of attorney, or signature documentation is required if the applicant and/or property owner is a corporation, partnership, trust, or provides signature in a representative capacity.

NOTARIAL AFFIRMATION

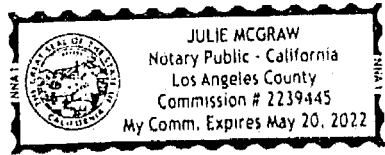
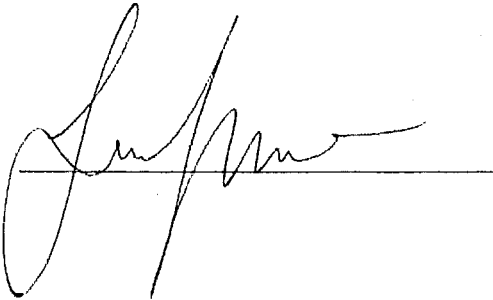
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

Subscribed and sworn to (or affirmed) before me on this 22nd day of January, 2020, by JOSEPH DANESHGAR, proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

WITNESS my hand and official seal.



(Notary Seal)

**KAEMPFER
CROWELL**

**KAEMPFER CROWELL RENSHAW
GRONAUER & FIORENTINO**

ATTORNEYS AT LAW
LAS VEGAS OFFICE

ANTHONY J. CELESTE
aceleste@kcnvlaw.com
702.693.4215

LAS VEGAS OFFICE
8345 West Sunset Road
Suite 250
Las Vegas, NV 89113
Tel: 702.792.7000
Fax: 702.796.7181

RENO OFFICE
5585 Kletzke Lane
Reno, NV 89511
Tel: 775.852.3900
Fax: 775.852.3982

CARSON CITY OFFICE
510 W. Fourth Street
Carson City, NV 89703
Tel: 775.884.8300
Fax: 775.882.0257

January 30, 2020

VIA HAND DELIVERY

CLARK COUNTY COMPREHENSIVE PLANNING
500 S. Grand Central Parkway, 1st Floor
Las Vegas, NV 89106

20-20-0101

**Re: Calida Development
Justification Letter – Conforming Zone Change to H-1; Design Review for Multi-Family Development; Waiver of Development Standards to Reduce Distance of Call Box from Parvin Street Entrance, and Special Use Permit to Allow Multi-Family Development in an H-1 Zoned District
APN: 191-05-601-015**

To Whom It May Concern:

Please be advised our office represents Calida (the "Applicant") in the above-referenced matter. The proposed project is located on approximately 13.12 acres located on the west side of Las Vegas Boulevard and approximately 300' south of Neal Avenue in Clark County, Nevada. The property is more particularly described as APN: 191-05-601-015 (the "Site"). The Applicant is requesting a conforming zone change to H-1 and the development of an apartment complex.

Conforming Zone Change Request

The Site is currently zoned H-2 and R-E. The Applicant is requesting a zone change to H-1. A zone change to H-1 is harmonious and compatible to the surrounding area for the following reasons:

- The zone change request to H-1 conforms to the master plan. The Site is master planned Commercial Tourist (CT). A CT master plan designation contemplates an H-1 zoning district.
- The Site is located between I-15 and Las Vegas Boulevard.
- The Site is accessed from Las Vegas Boulevard.
- The properties immediately to the north are zoned H-1

Design Review and Special Use Permit to Allow a Multi-Family Development Along with Waiver of Development Standards to Reduce Call Box Location:

Subject to a special use permit approval, a multi-family project is an appropriate use in an H-1 zoned district with conformance to the R-5 development standards. Clark County Planning Staff and the Board of County Commissioners have traditionally been supportive of the use permit requests for properties zoned H-1 and master planned CT as demonstrated by the approvals of UC-0900-16 and UC-19-0668

Here, the Applicant is proposing to develop a 312 unit luxury multi-family project on the Site. The proposed density is approximately 23.8 dwelling units per acre. The Applicant is proposing to build three (3) story, 39' tall multi-family buildings. The bedroom mix is as follows: 216 studio/one-bedroom units, 84 two-bedroom units, and 12 three-bedroom units. Main access to the Site is from Las Vegas Boulevard with secondary access from Parvin Street. Both access points will be gated. At the Las Vegas Boulevard entrance, the call box is setback approximately 101' from Las Vegas Boulevard, which meets the distance requirement from the right-of-way. At the Parvin Street entrance, the call box is setback approximately 52' from Parvin Street. The Applicant is proposing a drive aisle that circulates around the entire Site as well as a drive aisle that bisects the Site. The Site is meeting parking and providing 504 parking spaces. The Site also complies with all landscaping and setback requirements. The development will provide at a minimum the following amenities:

- Picnic and BBQ areas
- Pool/Cabana/Recreational Deck area
- Over 21,000 square feet of contiguous, useable open space
- Business Center
- Clubhouse featuring full cardio and strength training facility

Additionally, the Site complies with the Multiple Family Residential policies of the Urban Land Use Policies, including, but not limited to the following policies:

- Policy 57 encourages multi-family developments to be located near transit stops and road networks that can accommodate higher residential densities. Here, the Site is located near bus stops.
- Policy 55 encourages spatial distribution rather than the massing of buildings. Here, the buildings are oriented in various directions to avoid the monotone linear pattern. Additionally, the design review shows varied elevations.

- Policy 51 encourages multi-family projects to provide several amenities including usable open space, swimming pools, barbeque pits, and community centers. Here, the additional multi-family units will have complete use of the clubhouse, pool and other usable open space amenities.
- Policy 54 encourages the arrangement of parking areas into courts to avoid long concrete corridors of parking. Here, the parking is dispersed throughout the entire project and avoids creating long corridors of parking area.
- Policy 53 encourages the use of drought-tolerant landscaping. Here, the landscaping complies with all Title 30 requirements.

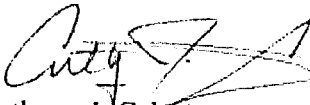
Along with the design review and special use permit requests, the Applicant is also requesting a waiver of development standards to reduce the distance separation between the Parvin Street call box location and the Parvin Street right-of-way from 100' to 52'. A waiver to reduce the Parvin Street call box location is appropriate for the following reasons:

- The entrance has two drive lanes and therefore can stack a cumulative of 102'
- The Parvin Street entrance is a secondary entrance location
- As indicated above, the Las Vegas Boulevard entrance is the main entrance and the call box location meets the distance requirement.

We thank you in advance for your time and consideration of this matter. Should you have any questions or concerns, please feel free to contact me.

Sincerely,

KAEMPFER CROWELL RENSHAW
GRONAUER & FIORENTINO



Anthony J. Celeste

AJC/MAO

